

April 18, 2017

Regular Public Meeting

6:00 P.M.

2775 Garrison Avenue

Port St. Joe, Florida



City of Port St. Joe

Bo Patterson, Mayor-Commissioner

William Thursbay, Commissioner, Group I

David Ashbrook, Commissioner, Group II

Brett Lowry, Commissioner, Group III

Rex Buzzett, Commissioner, Group IV

[All persons are invited to attend these meetings. Any person who decides to appeal any decision made by the Commission with respect to any matter considered at said meeting will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The Board of City Commission of the City of Port St. Joe, Florida will not provide a verbatim record of this meeting.]

BOARD OF CITY COMMISSION

Regular Public Meeting

6:00 P.M.

2775 Garrison Avenue

Tuesday April 18, 2017

Call to Order

Consent Agenda

Minutes

- Regular Commission Meeting 4/4/17 Pages 1-4
- Special Commission Meeting 4/11/17 Page 5

PSJRA

- Lighthouse Keepers Quarters Renovation Pages 6-9
 - RFP 2017-01, Request to Award Bid

PDRB Recommendations

- Modular Home Building Permit- Shannon Winfield, 170 Ave E Pages 10-24

City Attorney

- Resolution 2017-04, Proposed Home Rule Legislative Bills Pages 25-26
- Resolution 2017-05, Fishing Regulations Pages 27-28

Old Business

- Commerce Park Lot Utilities- Update
- CDBG Grant Update- Bruce Ballister

New Business

- Road Abandonment Request- Kaye Haddock Pages 29-30
- Escrow Deposit- Commerce Park Lot
- St. Joe Co. Payment Request Pages 31-40
- FRDAP Committee Membership Pages 41-43

Public Works

- Utility Permit Pages 44-45

Surface Water Plant

- Update

Waste Water Plant

- Update

City Engineer

- Projects Update
 - Frank Pate Park Boat Ramp Improvements
 - Long Avenue
 - Jones Homestead Sewer

Code Enforcement

- General Update

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Police Department

- Update

City Clerk

- Update

Citizens to be Heard

Discussion Items by Commissioners

Motion to Adjourn

**MINUTES OF THE REGULAR MEETING OF THE BOARD OF CITY
COMMISSIONERS FOR THE CITY OF PORT ST. JOE, FLORIDA, HELD AT
2775 GARRISON AVENUE, April 4, 2017, AT 6:00 P.M.**

The following were present: Mayor Patterson, Commissioners Ashbrook, Buzzett, Lowry, and Thursbay. City Manager Jim Anderson, City Clerk Charlotte Pierce, and Attorney Clinton McCahill were also present.

CONSENT AGENDA

Minutes

A Motion was made by Commissioner Thursbay, second by Commissioner Ashbrook, to approve the Minutes of the Regular Meeting on March 21, 2017. All in favor; Motion carried 5-0.

PORT ST. JOE REDEVELOPMENT AGENCY (PSJRA)

Promenade Lighting Proposal

A Motion was made by Commissioner Thursbay, second by Commissioner Buzzett, for the PSJRA to pay for the installation of 4 goose neck lights on the Lighthouse Promenade and for the City to pay the monthly charge of \$175 through October. All in favor; Motion carried 5-0.

CITY ATTORNEY –

Whatley Funeral Home – Update: Attorney McCahill noted that the judge had affirmed the decision of the City Commission.

Ordinance 528 Boat Ramp Fees - 2nd Reading and Consideration of Adoption: A Motion was made by Commissioner Buzzett, second by Commissioner Ashbrook, to have the Second Reading of Ordinance 528. All in favor; Motion carried 5-0.

Attorney McCahill read Ordinance 528 by Title.

A Motion was made by Commissioner Buzzett, second by Commissioner Ashbrook, to adopt Ordinance 528. All in favor; Motion carried 5-0.

Dr. Dusty May thanked the Commission for passing Ordinance 528.

Ordinance 530 Capital Improvement Plan Update – 2nd Reading and Consideration of Adoption: A Motion was made by Commissioner Ashbrook, second by Commissioner Thursbay, to read Ordinance 530 by Title. All in favor; Motion carried 5-0.

Attorney McCahill read Ordinance 530 by Title.

A Motion was made by Commissioner Ashbrook, second by Commissioner Thursbay, to adopt Ordinance 530. All in favor; Motion carried 5-0.

Ordinance 531 Utility Billing Deposit - 1st Reading and Request to Advertise: A Motion was made by Commissioner Buzzett, second by Commissioner Ashbrook, to have the First Reading of Ordinance 531. Motion carried 3-2. Voting in favor of the Motion were Commissioners Ashbrook, Buzzett, and Lowry. Voting against were Mayor Patterson and Commissioner Thursbay.

A Motion was made by Commissioner Buzzett, second by Commissioner Ashbrook, to advertise Ordinance 531. All in favor; Motion carried 5-0.

CITY MANAGER'S REPORT – Jim Anderson

Old Business

Utility Billing Write-Off Policy – Commissioner Thursbay: A discussion was held concerning the policy. Commissioner Buzzett noted a recent issue where a private entity stated they did not have any leaks but requested an adjustment to their bill. He asked if the entity would be covered by the new policy to which the Commissioners responded "Yes." Motion carried 4-1. Voting in favor of the Motion were Mayor Patterson, Commissioners Ashbrook, Lowry, and Thursbay. Voting against the Motion was Commissioner Buzzett. The word "leaks" was changed to "usage" and three times the six months average was included in the Policy.

Commerce Park Lot Utilities – Staff is working to have this resolved so the lot can be sold.

Grant Writer Position – Commissioner Ashbrook: After discussion, it was determined to have a Workshop to establish a salary and work hours for the position. The Commission would like to have the employee on board in October.

New Business

RFP 2017-03 FRDAP Grant Playground Equipment – A Motion was made by Commissioner Thursbay, second by Commissioner Lowry, to approve the Bid of True North Recreation Inc., in the amount of \$38,789.49 and take \$5,000 from BP Funds to provide for the fall zone of the playground equipment. All in favor; Motion carried 5-0.

Concerts in the Park – Staff was instructed to require a \$100 deposit for events in the park. If the area is cleaned and there is no damage, the deposit will be returned.

Community Rating System – Commissioner Lowry: A Motion was made by Commissioner Lowry, second by Commissioner Thursbay, to work with Gulf County on this. All in favor; Motion carried 5-0. Beginning in 2018, new Flood Maps will be in effect for the City and by partnering with the County this should offer a reduction in cost of Flood Insurance for City residents.

Lights on Mimosa – Commissioner Ashbrook: Staff will contact Duke Energy for an evaluation of the area.

Curb at Reid and First Street – Commissioner Ashbrook: John Grantland was asked to review this area to see what could be done.

Proposed Legislative Bills – Commissioner Ashbrook: A Motion was made by Commissioner Ashbrook, second by Commissioner Thursbay, to adopt a Resolution opposing HB 17 and SB 1158 which preempts local business regulations, prohibits local government from imposing or adopting any new regulations on businesses unless expressly authorized by the Legislature. All in favor; Motion carried 5-0.

Fishing Regulations – Commissioner Thursbay: A Motion was made by Commissioner Thursbay, second by Commissioner Ashbrook, to provide a Letter of Local Support for US HB 200 which involves local fishermen. All in favor; Motion carried 5-0.

Gateway Manor – Today Mr. Anderson received a request from the PACES Foundation to add 30 Units for Senior Citizens to their project. A Development Order was granted for 50 units previously. This request does not guarantee a Development Order or obligate the City. A Motion was made by Commissioner Thursbay, second by Commissioner Buzzett, for the City to sign a letter to be used to secure additional funding for the project. Attorney McCahill will review the request before a letter is given. All in favor; Motion carried 5-0.

513 Woodward Avenue: Block 33 Lot 13 – Residential Use in Commercial District: Staff was instructed to create an Ordinance that corrects the issue and grandfather in the two houses that are effected by the current C1A Zoning.

Public Works – John Grantland

Spinnaker Drive Sewer Extension – The Commission approved City Employees installing this extension as funds are being provided by a property owner.

City Pier Repair - The Gazebo was damaged by a January storm and approval was given for Staff to have plans drawn up to go out for bid on the repairs.

Sick Leave Pool – Request to Activate: A Motion was made by Commissioner Thursbay, second by Commissioner Lowry, to activate the Sick Leave Pool to help a Public Works Employee that is out due to Medical reasons. All in favor; Motion carried 5-0.

Surface Water Plant – Larry McClamma

RFP 2017-04 Tank Lid Repair - The bid received was steep and over the budgeted amount. Consensus was given for Mr. McClamma to advertise to replace the lid rather than repair it.

Wastewater Plant – Kevin Pettis

Well Abandonment – Request to Bid: A Motion was made by Commissioner Buzzett, second by Commissioner Thursbay, to backfill a formerly used 10" Primary line that is 630' deep. Funds for the abandonment are in the budget. All in favor; Motion carried 5-0.

A Sonic Disrupter that is being repaired should be back tomorrow.

Financial Analyst – Mike Lacour shared the STAC House will be opening on June 1st this year.

City Engineer – Clay Smallwood, III

Project Updates -

Frank Pate Park Boat Ramp Improvements – Construction has started on the project.

Long Avenue – Project Plans have been given to John Grantland.

Jones Homestead Sewer – Dewberry / Preble Rish is working on the Task Order.

Code Enforcement –

General Update – Mr. Burkett's report was reviewed, no action was required.

Police Department – Chief Matt Herring did not have anything to report.

City Clerk – Charlotte Pierce

Canvassing Board Membership – Commissioner Buzzett volunteered to serve with Clerk Pierce on the Canvassing Board for the upcoming election on May 9, 2017.

Citizens to be Heard –

Chester Davis, representing the NPSJ PAC, shared they are inviting Gateway Manor to their April 22, 2017, meeting at 11:00 A.M., to review the application being provided by Gateway Manor to potential clients. He encouraged the Commissioners to join them also. Mr. Davis also encouraged the Commissioners to request an Amnesty Day as previously two per year were allowed.

Discussion Items by Commissioners

Commissioner Thursbay announced that he is seeking re-election to the Group I seat that he currently holds. He thanked the citizens for their previous support, stated he enjoys the job, puts his heart and soul into it, and asked for the continued support of the community.

Commissioner Ashbrook also announced that he is seeking re-election to the Group II seat that he currently holds. He shared it has been a great experience, it changes you as a person, that he tries to do for the majority of the citizens, and he hopes to be able to continue serving.

Commissioner Lowry noted there are 25 happy Pickle Ball players and lines will be painted on the court near Capital City Bank later this week.

Commissioner Buzzett shared his concerns about utility service companies being in town, working on City property, and not notifying the City of their work. He requested that a Utility Permit Application be drafted to eliminate these issues.

He also asked if the Commission would be supportive of renovation work for the Centennial Building. Commissioners Lowry and Ashbrook offered suggestions for funding and their support.

Mayor Patterson asked about the CDBG funding, and the \$80,000 provided by the Northwest Florida Water Management District. He also expressed his concerns about 38 street lights being out in the City and the slowness in which Duke Energy repairs them. The Mayor asked that pavers in front of Bay Breeze Antique Shop on Reid Avenue be checked as some of the pavers are sticking up and causing problems. He also requested the City's two tents be available for the Street Dance on July 3, 2017.

The mayor shared this was his fourth time seeking election and was the first time he has been unopposed. Mayor Patterson noted he is humbled that there was no opposition and is looking forward to serving the next two years.

A Motion was made by Commissioner Ashbrook, second by Commissioner Thursbay, to adjourn the Meeting at 7:20 P.M.

Approved this _____ day of _____ 2017.

James "Bo" Patterson, Mayor

Date

Charlotte M. Pierce, City Clerk

Date

**MINUTES OF THE SPECIAL MEETING OF THE BOARD OF CITY
COMMISSIONERS FOR THE CITY OF PORT ST. JOE, FLORIDA, HELD AT
2775 GARRISON AVENUE, April 11, 2017, at Noon.**

The following were present: Mayor Patterson, Commissioners Buzzett, and Thursbay. City Manager Jim Anderson, City Clerk Charlotte Pierce, and Attorney Clinton McCahill were also present. Commissioners Ashbrook and Lowry were absent.

Consent Agenda

Ordinance 532 Woodward Avenue – Residential in the C1A District – Public Hearing, First Reading:

Mayor Patterson called for Public Comment on Ordinance 532. No one from the Public wished to speak.

A Motion was made by Commissioner Buzzett, second by Commissioner Thursbay, to have the First Reading of Ordinance 532. All in favor; Motion carried 3-0.

Attorney McCahill read Ordinance 532 by Title only.

There will be a Second Reading and Consideration of Adoption for Ordinance 532 at a Special Meeting on Tuesday, April 25, 2017, at Noon in the Ward Ridge Commission Chamber.

Citizens to be Heard – No one wished to address the Commission.

Discussion Items by Commissioners – None of the Commissioners had anything to discuss.

Motion to Adjourn

A Motion was made by Commissioner Buzzett, second by Commissioner Thursbay, to adjourn the Meeting at 12:05 P.M.

Approved this _____ day of _____ 2017.

James "Bo" Patterson, Mayor

Date

Charlotte M. Pierce, City Clerk

Date

City Commission Conference Room

6

Contract information for Sleeping Beauty and Eglin

4/13/17

General Contractor, Combs Construction

PO Box 456, Port St Joe FL, 32457

1. Proposes to construct ADA ramp for Sleeping Beauty as proposed in the plans and specs prepared by MLD Architects for a lump sum price of \$6,800.00.
2. Proposes to complete all of the exterior repairs for the Eglin house as specified including the proposed steps and added handrails. Ramp is not included for Eglin. Price for this effort is \$ 30,600.00

Current Solutions, Electrical Contractors of the Gulf Coast LLC

PO Box 81, Port St Joe FL, 32457

1. Provided proposal attached

Philco Air Conditioning Refrigeration

111 Stone Drive, Port St Joe FL, 32456

2. Provided adjusted proposal attached but removing AC system for Eglin and all the work is to install a new complete system in Sleeping Beauty.

Philco Air Conditioning Refrigeration

Our Quote No. 148

Date 3/27/2017

Terms Valid for 30 days

QUOTE



Quote To:

Cape San Blas Lighthouse Reno and Repairs
200 Miss Zolas Dr
Port St Joe, FL 32456

Description	Qty	Each	Total
Complete install of condensing furnaces along with condenser on each floor of both houses. 7-day programmable thermostat to run each system. New duct work to be installed all through out sleeping beauty as spec on plans. Replacement of duct work on first floor of Eglin home and to re-use duct work on second level of Eglin home. Eglin home to consist of two 2.5 ton condensing furnaces along with case coil and condenser. New tubing lines to be ran for each system along with drain lines and control wiring. Sleeping beauty to consist of two 2.5 ton condensing furnaces along with case coil and condenser. New tubing lines along with control wiring and drain lines. <i>Sleeping Beauty only</i>	1	27,850.00	27,850.00 <i>\$13,925.00</i>

Customer Message

Thank you for your business.

Total:

\$13,925.00
~~\$27,850.00~~

Philco Air Conditioning Refrigeration

111 Stone Drive
Port St. Joe, FL 32456
RA0066562

Tel: 850-340-1375
Email: Philcoac@gmail.com

Current Solutions of the Gulf Coast LLC

P.O. Box 81

Port St. Joe, FL 32457



Lic.# ER13013495/ER13013496

Name / Address
City of Port St. Joe P.O. Box 278 Port St. Joe, FL 32456

Estimate

Date	Estimate #
3/17/2017	1194

WE NOW ACCEPT VISA, MASTERCARD & DISCOVER

DESCRIPTION		AMOUNT
Proposal for electrical for the renovations and repairs to the light house and keepers quarters per sheets E0.1, E1.1, and E1.2.		12,800.00
Suppling and installing a new 400 amp meter, (1) 400 amp MDP, refeed both electrical services to the buildings, provide power to the disconnects in both buildings for CU1, CU2, AHU1, and AHU2.		
Phone #	Fax #	Total \$12,800.00
8502295333	850-229-5339	

Planning, Development, and Review Board Recommendations

On April 11, 2017, the following recommendation was made to the City Commission:

Modular Home Building Permit- Shannon Winfield, 170 Avenue E

- Ms. Winfield and Ms. Dianna Harrison, Program Administrator of the Gulf County ARC, attended the meeting. After several questions, a Motion was made by Minnie Likely, second by Hal Keels, to recommend to the City Commission approval of the Building Permit. Motion carried 5-0. The request meets the current LDR requirements.

Zone: R2-B

EPCI
PORT ST JOE BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

DATE: 2/22/2017 Permit # _____ Permit Fee _____

OWNER'S NAME: Shannon Winfield

ADDRESS: 170 East Ave Port St. Joe AL

CITY, STATE & ZIP CODE: 32456 PHONE # 850-340-3796

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): Elend American Structural Resources

ADDRESS: Secretary of hhd, 9 Sylvan Way, Parsippany, NJ 07054

CITY, STATE & ZIP CODE: _____ PHONE # 973-585-5249

CONTRACTOR'S NAME: Joe Copeland

ADDRESS: _____

CITY, STATE & ZIP CODE: AL PHONE # 1-334-790-5851

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: 170 East Ave Port St. Joe AL 32456

PROPOSED USE OF SITE: Replacement Home

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
☒ YES ☐ NO

PROPERTY PARCEL ID # 05821-000R

LEGAL DESCRIPTION OF PROPERTY: see attached

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____



Gulf County Property Appraiser

Mitch Burke, CFA

[Sales In Area](#)[Previous Parcel](#)[Next Parcel](#)[Field Definitions](#)[Return to Main Search](#)[Gulf Home](#)

Owner Name
Mailing Address

Location Address
Property Usage
Section Township Range

WINFIELD SHANNON
211 N PARK AVE
PORT ST JOE, FL 32456
170 AVENUE E
VACANT (000000)
36-75-11W

Owner and Parcel Information

Today's Date
Parcel Number
Tax District
2016 Millage Rates
Acreage
Homestead

April 5, 2017
05821-000R
City of Port St Joe (District 5)
17.9562
0
N

[Show Parcel Maps](#) | [Generate Owner List By Radius](#)

Value Information

Building Value
Extra Feature Value
Land Value
Land Agricultural Value
Agricultural (Market) Value
Just (Market) Value*
Assessed Value
Exempt Value
Taxable Value
Maximum Save Our Homes Portability
AGL Amount

	2016 Certified Values	2017 Working Values
Building Value	\$0	\$0
Extra Feature Value	\$0	\$0
Land Value	\$4,000	\$4,000
Land Agricultural Value	\$0	\$0
Agricultural (Market) Value	\$0	\$0
Just (Market) Value*	\$4,000	\$4,000
Assessed Value	\$4,000	\$4,000
Exempt Value	\$0	\$0
Taxable Value	\$4,000	\$4,000
Maximum Save Our Homes Portability	\$0	\$0

MILLVIEW ADDN UNIT 1 PB 1 PG 33 LOT 14 ORB 183/727 FR MC KINNON ORB 558/805 OR FR PROBATE ORB 559/874 & 876 QC FR PRYOR/WINFIELD BLK 1007 MAP 49D

The legal description shown here may be condensed for assessment purposes. Exact description should be obtained from the recorded deed.

Legal Information

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Tax Information**Building Information**

No buildings associated with this parcel.

Extra Features Data

Unit Length x Width x Height

No records associated with this parcel.

Description

Number of Items

Units

Effective Year Built

Land Information

LAND USE
IMPROVED > 1 AC

NUMBER OF UNITS

1

UNIT TYPE

LT

Frontage

0

Depth

0

Property Information (qualified, unqualified, and multiple sales)

Multi-Parcel Sale	Sale Date	Sale Price	Instrument	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
No	08-14-2014	\$ 100	Quit Claim Deed	559	874	Unqualified	Vacant	PRYOR CAMERON	WINFIELD SHANNON
No	07-29-2014	\$ 100	Quit Claim Deed	559	876	Unqualified	Vacant	WINFIELD STANLEY	WINFIELD SHANNON
No	07-25-2014		PROBATE ORDER OF ADM	558	805	Unqualified	Vacant	PROBATE COURT	WINFIELD SHANNON & STANLEY JR & CAMERON PRIOR
No	10-16-1995		Warranty Deed	183	727	Unqualified	Improved	MC KINNON	WINFIELD
No	12-22-1987	\$ 100	Warranty Deed	122	1006	Unqualified	Improved	MC KINNON WILLIE	MC KINNON WILLIE ET
No	11-01-1984	\$ 5,000	N/A	102	374	Qualified	Improved		

[Sales In Area](#)[Previous Parcel](#)[Next Parcel](#)[Field Definitions](#)[Return to Main Search](#)[Gulf Home](#)

The Gulf County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The Senior Exemption Does Not Apply to All Taxing Authorities. Just (Market) Value is established by the Property Appraiser for ad valorem tax purposes. It does not represent anticipated selling price. Working values are subject to change. Website Updated: April 3, 2017

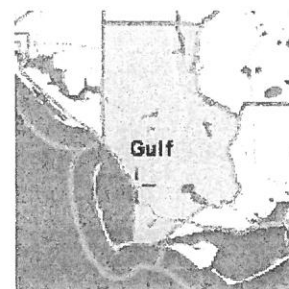
© 2011 by the County of Gulf, FL | Website design by [qpublic.net](#)



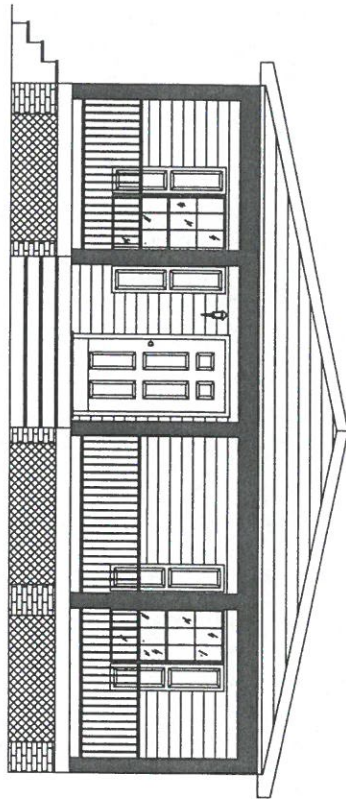
Gulf County Property Appraiser

Parcel: 05821-000R Acres: 0

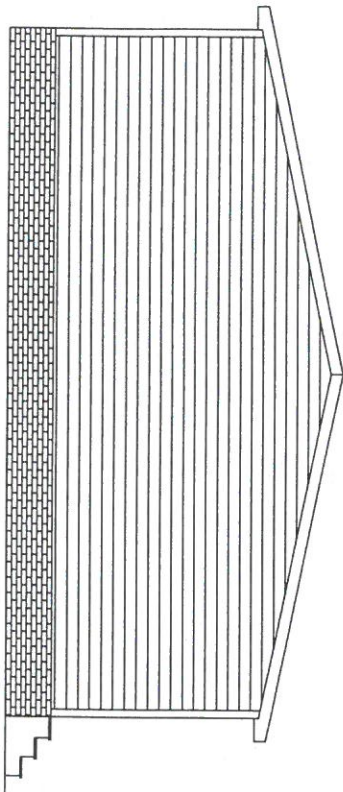
Name:	WINFIELD SHANNON	Land Value	4,000
Site:	170 AVENUE E	Building Value	0
Sale:	5,000 on 11-1984 Reason=Q Qual=N	Misc Value	0
Mail:	211 N PARK AVE PORT ST JOE, FL 32456	Just Value	4,000
		Assessed Value	4,000
		Exempt Value	0
		Taxable Value	4,000



The Gulf County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll. PLEASE NOTE THAT THE PROPERTY APPRAISER MAPS ARE FOR ASSESSMENT PURPOSES ONLY NEITHER GULF COUNTY NOR ITS EMPLOYEES ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS —THIS IS NOT A SURVEY—
Date printed: 04/05/17 : 09:59:17



FRONT ELEVATION



REAR ELEVATION

ATLIC VENTILATION:
VENTILATION REQUIRED:
ENCLOSED ATTICS AND ENCLOSED RAFTERS
SPACES FORMED WHERE THE CEILINGS ARE
APPLIED DIRECTLY TO THE UNDERSIDE OF
ROOF RAFTERS SHALL HAVE CROSS
VENTILATION FOR EACH SEPARATE SPACE
BY VENTILATING OPENINGS PROTECTED
AGAINST THE ENTRANCE OF RAIN OR SNOW.
VENTILATING OPENINGS SHALL BE PROVIDED
WITH 1/8" MIN. TO 1/4" MAX. OPENINGS.

- ATLIC VENTILATION REQUIREMENTS:
1. NOT LESS THAN 1 TO 150.
 2. VENTILATION REQUIRED-1,843.20 Sq.ft.
 3. TYPE OF VENTILATION PROVIDED.
ROOF: CONTINUOUS VENTED RIDGE CAP (11.46 Sq.ft./L.F.)
EAVES: CONTINUOUS VENTED VINYL SOFFIT (100 Sq.ft./L.F.)
 4. VENTILATION PROVIDED:
ROOF: (60.0 L.F.) 573.0 Sq.ft.
EAVES: 1,280.0 Sq.ft.

APPROVED BY
DATE
FOR THE ARCHITECT
FOR THE ENGINEER
FOR THE CONTRACTOR
FOR THE OWNER

DRAWING:
ELEVATIONS

SCALE:
NTS
DRAWN BY:
B. PRUITT

DATE:
12/29/16
FLOOR SIZE:
32' x 61'
MODEL NUMBER:
MFT-2530-SoHo-201
PLAN NUMBER:

Southern Energy Homes, Inc.
Energy Division
18025 COUNTY ROAD 41
P.O. BOX 269
ADDISON, AL 35540
PHONE: (256) 747-1544
FAX: (256) 255-3358

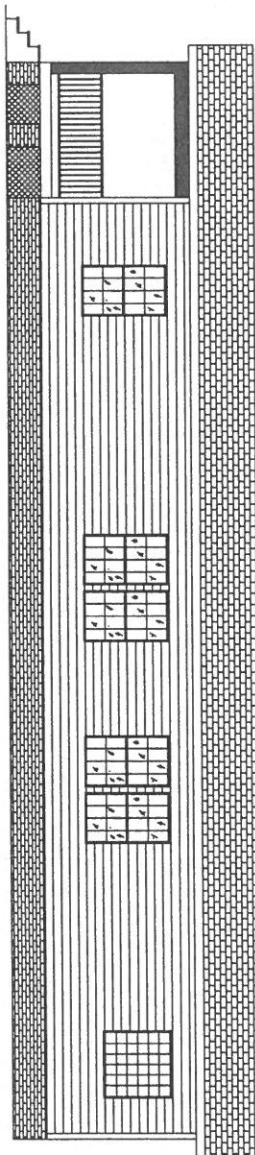
YOUR LIFE
YOUR HOME
YOUR STYLE

SHEET NO.:
A2

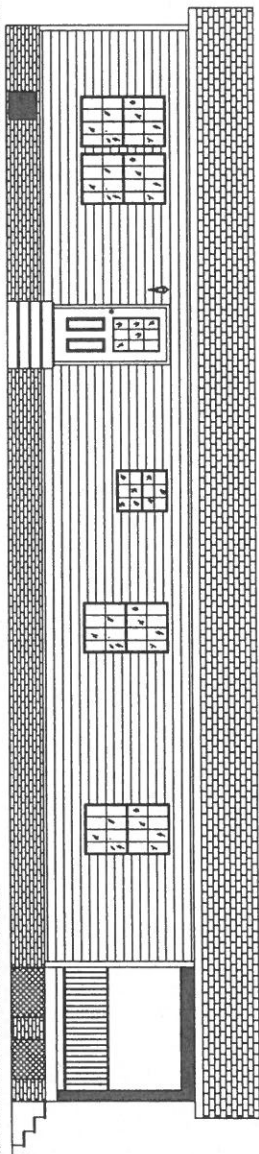
These plans were prepared by the
 Southern Energy Homes, Inc. and
 are not to be used for any other
 project without the written consent
 of the Southern Energy Homes, Inc.

APPROVED BY
 NTH INC.

DATE: 12/11/16
 DRAWN BY: B. PRUITT
 CHECKED BY: B. PRUITT
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION



LEFT ELEVATION

FOUNDATION ENCLOSURE (WHEN PROVIDED)
 MUST HAVE AN 18"x24" MINIMUM CRAWL SPACE
 ACCESS, SITE INSTALLED BY OTHERS,
 SUBJECT TO LOCAL JURISDICTION.

HANDICAP RAMPS, STAIRS, AND HANDRAILS
 ARE SITE INSTALLED, DESIGNED BY OTHERS,
 AND SUBJECT TO LOCAL JURISDICTION.

ATTIC VENTILATION:
 VENTILATION REQUIRED:
 ENCLOSED ATTICS AND ENCLOSED RAFTERS
 SPACES FORMED WHERE THE CEILINGS ARE
 APPLIED DIRECTLY TO THE UNDERSIDE OF
 ROOF RAFTERS SHALL HAVE CROSS
 VENTILATION FOR EACH SEPARATE SPACE
 BY VENTILATING OPENINGS PROTECTED
 AGAINST THE ENTRANCE OF RAIN OR SNOW.
 VENTILATING OPENINGS SHALL BE PROVIDED
 WITH CORROSION-RESISTANT WIRE MESH,
 WITH 1/8" MIN. TO 1/4" MAX. OPENINGS.

- ATTIC VENTILATION REQUIREMENTS:
1. NOT LESS THAN 1 TO 150.
 2. VENTILATION REQUIRED: 1,443.20 Sq. ft.
 3. TYPE OF VENTILATION PROVIDED.
- ROOF: CONTINUOUS VENTED RIDGE CAP (11.46 Sq. ft./L.F.)
 EAVES: CONTINUOUS VENTED VINYL SOFFIT (100.0 Sq. ft./L.F.)
 VENTILATION PROVIDED:
 ROOF: (50.0 L.F.) 573.0 Sq. ft.
 EAVES: 1,280.0 Sq. ft.

A2a

SHEET NO.:

YOUR LIFE
 YOUR HOME
 YOUR STYLE

Southern Energy Homes, Inc.
 Energy Division
 18025 COUNTY ROAD 41
 P.O. BOX 269
 ADDISON, AL 35540
 PHONE: (256) 747-1544
 FAX: (256) 255-3358

DRAWING:
 ELEVATIONS

SCALE:
 NTS
 DRAWN BY:
 B. PRUITT

DATE:
 12/29/16
 FLOOR SIZE:
 32' x 64'
 MODEL NUMBER:
 MFT-2530-SoHo-201
 PLAN NUMBER:





17
13/100

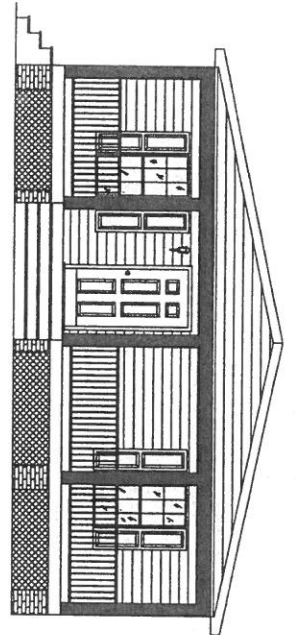
DATE: 1/25/2017 CIRT. NO. SAMP-056
PLAN NUMBER: MFT-2530-SoHo-201
APPROVED BY: Michael Faller
(signature)

SITE INSTALLED ITEMS SUBJECT TO LOCAL CODE REVIEW AND COMPLIANCE.
1. HOME INTERCONNECTIONS.
2. DUCT REQUIRED DURING INSTALLATION.
3. WATER AND DRAIN CONNECTIONS.
4. CROSOVER CONNECTIONS WATER & HVAC.
5. TAG DOORER INSTALLATION (HANGING).
6. SHINGLES REQUIRED AT RIDGE DURING INSTALLATION.
7. ALL AWNINGS, STAIRS, HANDRAILS, GUARDS WITH BALUSTERS AND LANDINGS.
8. BASEMENT STAIRS (IF APPLICABLE).
9. THE ROOF DRAINAGE SYSTEM.

INDEX

A0	COVER SHEET & DESIGN CODES
A1	FLOOR PLAN
A2	ELEVATIONS (FRONT & REAR)
A3	ELEVATIONS (LEFT & RIGHT)
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A5	ELECTRICAL GENERAL NOTES
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A10	WATER SUPPLY AND DWV CONNECTIONS
A11	HVAC LAYOUT
A12	ON-FRAME (PIER SET) FOUNDATION PLAN
A13	CROSS SECTION ON FRAME
A14	CROSS SECTION ON FRAME
A15	CROSS SECTION ON FRAME
A16	CROSS SECTION ON FRAME
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A100	CROSS SECTION ON FRAME

FRONT ELEVATION



NOTES:

1. THESE PLANS COMPLY WITH THE 5TH EDITION 2014 FLORIDA BUILDING CODE, RESIDENTIAL WITH 2016 SUPPLEMENT.
2. THESE PLANS COMPLY WITH RULE 61G20-2.106 FOR PRODUCT APPROVAL.
3. THIS BUILDING HAS NOT BEEN DESIGNED OR APPROVED FOR PLACEMENT IN HIGH VELOCITY HURRICANE ZONES (HVHZ).
4. THIS BUILDING IS SUBJECT TO REVIEW AND APPROVAL OF THE FIRE INSPECTOR ON SITE WITH COMPLIANCE WITH CH. 633 FIRE SAFETY CODE.
5. THE MANUFACTURER'S DATA SHEET AND STATE (DBPR) INSIGNIA SHALL BE PERMANENTLY MOUNTED TO OR ABOUT THE ELECTRICAL PANEL.
6. THIS STRUCTURE HAS BEEN DESIGNED FOR ERECTION OR INSTALLATION ON A SITE BUILT PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED OR INSTALLED.
7. THE REQUIRED ADDRESS NUMBERS ARE PROVIDED AND INSTALLED ON SITE BY OTHERS.
8. THE ELECTRONICALLY SEALED SET OF PLANS ARE ON FILE IN THE THIRD PARTY AGENCY OFFICE AS DIRECTED BY THE (DBPR).
9. THIS STRUCTURE HAS NOT BEEN DESIGNED TO BE LOCATED WITHIN FLOOD HAZARD LOCATIONS. WHEN SITE IS LOCATED IN A FLOOD HAZARD AREA AS DETERMINED BY THE LOCAL AUTHORITY HAVING JURISDICTION OR FLOOD HAZARD MAPS, THE UNIT SHALL HAVE THE LOWEST FLOOR ELEVATION ABOVE THE DESIGN FLOOD ELEVATION. FOUNDATION AND ANCHORAGE DESIGNS SHALL BE PROVIDED BY A LOCAL ENGINEER IN CONFORMANCE WITH LOCALLY ADOPTED BUILDING CODE AND ASCE 24-05.
10. THIS HOME HAS NOT BEEN CONSTRUCTED TO BE PLACED OVER UNPROTECTED BASEMENTS OR CRAWL SPACES INTENDED FOR STORAGE OR CONTAINING FUEL-FIRE APPLIANCES. IT IS THE RESPONSIBILITY OF OTHERS TO PROVIDE 4" CYF ON UNDERSIDE OF FLOOR AS REQUIRED BY RS01.3.
11. IF HOME IS PLACED ON SITE WHERE ANY WINDOW SILL IS LESS THAN 34" ABOVE FINISHED FLOOR AND 7" GREATER ABOVE THE EXTERIOR GRADE, A WINDOW GUARD MUST BE INSTALLED THAT COMPLIES WITH ASTM F2990.
12. WINDOWS IN BUILDINGS LOCATED IN WINDBORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WINDBORNE DEBRIS. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E1996 AND ASTM E1998.
13. TOPOGRAPHIC WIND EFFECTS HAVE NOT BEEN CONSIDERED. THIS HOME HAS NOT BEEN DESIGNED TO BE LOCATED IN AREAS DESIGNATED AS HAVING LOCAL HISTORICAL DATA DOCUMENTING STRUCTURAL DAMAGE TO BUILDINGS CAUSED BY WIND SPEED-UP AT ISOLATED HILLS, RIDGES, AND ESCARPMENTS.

NOTE:

ACCORDING TO ACCA MANUAL 'S', HEATING EQUIPMENT MAY BE OVERSIZED UP TO 40%. COOLING EQUIPMENT MAY BE OVERSIZED UP TO 15%.

ACCORDING TO MANUAL 'S', SECTION 2.2 SIZING GUIDELINES: IF YEAR-ROUND COMFORT IS DESIRED, AND THE COOLING LOAD IS LARGE IN COMPARISON TO THE HEATING LOAD, AN OVERSIZED FURNACE MAY BE REQUIRED TO OBTAIN BLOWER PERFORMANCE THAT IS COMPATIBLE WITH THE SIZE OF THE COOLING COIL.

NOTE:

CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION.

FLORIDA

DESIGN CODES

5th EDITION 2014 FLORIDA BUILDING CODE: RESIDENTIAL WITH 2016 SUPPLEMENT	FLOOR: 40 PSF LIVE LOAD
5th EDITION 2014 FLORIDA BUILDING CODE: ENERGY WITH 2016 SUPPLEMENT	ROOF: 20 PSF LIVE LOAD
2011 NEC	ROOF PITCH: 4/12 MAX
COMPONENTS & CLADDING LOADS	SIDEWALL HEIGHT: 96"
ROOF	CONSTRUCTION TYPE: VB
WALLS	OCCUPANCY USE GROUP:
ZONE-2: -54.1 PSF	SINGLE FAMILY
ZONE-3: -79.9 PSF	MAXIMUM DESIGN WIND SPEED: 115 M.P.H.
ZONE-5: 33.9 PSF (-45.4)	ULTIMATE WIND SPEED: 149 M.P.H.
OVERHANG: 2.2-4.4 PSF-7.3-11.0 PSF	EXPOSURE-C
WIND IMPORTANCE FACTOR (I)=1	BUILDING LOCATION: FLORIDA
BUILDING CATEGORY=2	NUMBER OF STORIES: ONE (1)
INTER. PRESSURE COEFFICIENT=-18 & -18	SEISMIC DESIGN: CATEGORY-C

DESIGN INFORMATION

BUILDING AREA: 1,680 Sq.Ft.	INSULATION PACKAGE(MIN.)
TOTAL EXTERIOR DOOR AREA: 42.0 Sq.Ft.	FLOOR: 22
TOTAL WINDOW AREA: 194.0 Sq.Ft.	WALLS: 13
	CEILING: 38

THIS PLAN WAS PREPARED BY THE
FOLLOWING ENGINEER OR ARCHITECT
FOR THE PROJECT SHOWN HEREON.
APPROVED BY:
NAME: John Weldy
FIRM: NFA INC.
DATE: 1/25/2017
PROJECT: MFT-2530-SoHo-201
SHEET: 1 OF 1

John Weldy
2017.01.2
5 14:52:13
-05'00'

DRAWING:
COVER SHEET

SCALE:
NTS
DRAWN BY:
B. PRUITT

DATE:
12/29/16
FLOOR SIZE:
32' x 64'
MODEL NUMBER:
MFT-2530-SoHo-201
PLAN NUMBER:

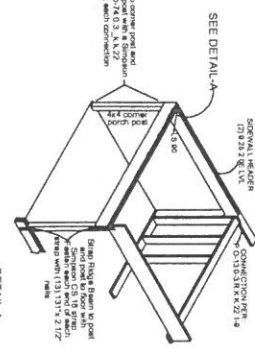
Southern Energy Homes, Inc.
Energy Division
18025 COUNTY ROAD 41
P.O. BOX 269
ADDISON, AL 35540
PHONE: (256) 747-1544
FAX: (256) 255-3358

YOUR LIFE
YOUR HOME
YOUR STYLE

SHEET NO.:

A0

- NOTE:
1. WHEN 26ga. STRAP IS CALLED FOR IN CALCULATION, USE SIMPSON CS-22 OR BETTER.
 2. TRUSSES IN PORCH AREA TO BE DESIGNED FOR PARTIALLY ENCLOSED OR EXPOSED STRUCTURE OR DOUBLED IN PORCH AREA.
 3. SHEAR WALL STRAPPING SHALL BE LSTA18 PER SW-320.0-NTA-FL, SW-366.0-NTA-FL & SW-756.0-NTA-FL.
 4. TRUSSES FOR THIS MODEL ARE 24" O.C.



NOTES:

1. SHEARWALL-1 WILL REQUIRE (2) FLOOR JOIST
2. SHEARWALL-2 WILL REQUIRE (5) FLOOR JOIST

CATEGORY	MIN. LENGTH	END
115 MPH	115'	END
UL-T 140 MPH	115'	END
SWH1 320 PLF	204'	END
SWH2 480 PLF	175'	END
SWH3 241 PLF	155'	END
SWH4 241 PLF	155'	END

DIAPHRAGM SW-20-237E.1 REQUIRES 7" TO BE BLOCKED ON EACH END OF EACH FLOOR (TRUSS BLOCKING)

NOTE:

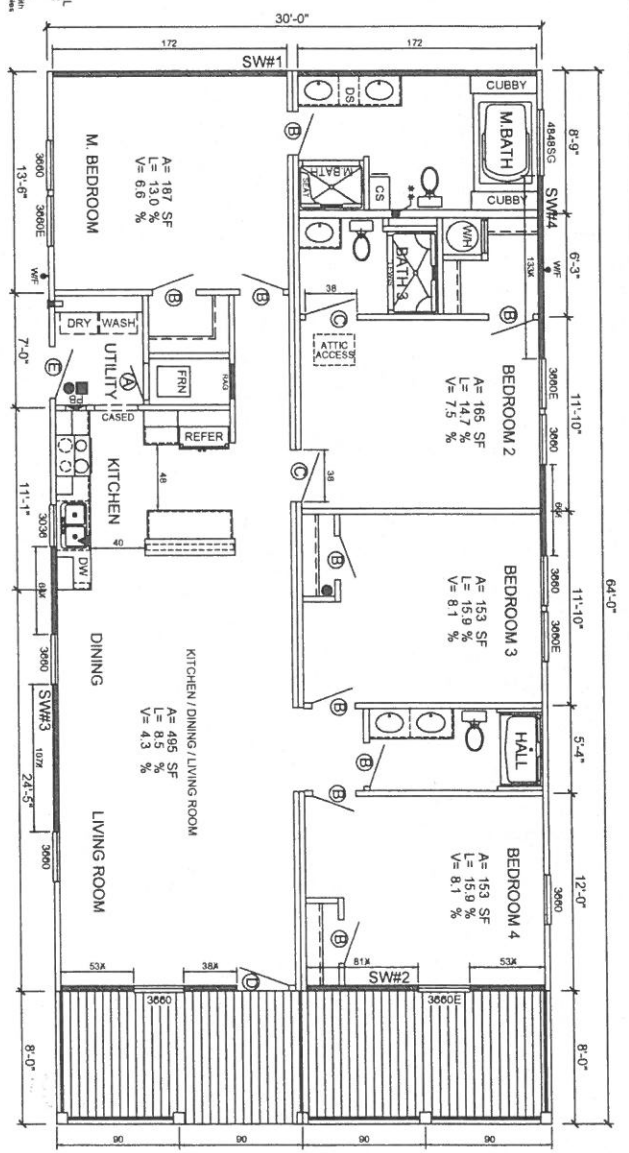
SOFFIT MATERIAL TO BE FACTORY INSTALLED PER (FL-9103.2)

TABLE 1: Minimum ultimate design wind speed (Vail mph - 3 second gust) permitted for 1/2" Framing & Architectural Series Soffit

SIZE	Support Spacing (inches)	Edgewise (inches)	Field (inches)	Minimum Wind Speed Category
16	6	12	18	15
24	6	12	18	15
32	6	12	18	15
40	6	12	18	15
48	6	12	18	15
56	6	12	18	15
64	6	12	18	15

1. Panels shall be applied with long dimension across supports.

2. Table is based on wind pressure acting inward and away from building surfaces at 30-ft height in Zone 3 with analysis effective area per Chapter 24 of ASCE 7-10.



***PVC PIPE VENTED THROUGH ROOF AND TERMINATED BELOW FLOOR JOIST FOR PASSIVE RADON CONTROL PER APPENDIX-F



- NOTES:
1. ALL WINDOWS TO BE THERMOPLASTIC.
 2. ATTIC ACCESS OPENING 22"x30" MIN.
 3. FLAME SPREAD INSULATION MATERIAL SHALL HAVE A FLAME SPREAD RATING OF NOT GREATER THAN 25, WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN 200 AND A SMOKE DENSITY RATING NOT GREATER THAN 450 (CLASS-C). THE FLAME SPREAD REQUIREMENTS DO NOT APPLY TO TRIM OR ORNAMENTAL MATERIALS. TESTING SHALL CONFORM TO ASTM-B94.
 4. ALL EXHAUST FANS TO BE RUN THROUGH DUCT TO THE OUTSIDE OF HOUSE AND TERMINATE AT LEAST 10' ABOVE GRADE. A WINDOW GUARD MUST BE INSTALLED ABOVE THE EXTERIOR GRADE. A WINDOW GUARD MUST BE INSTALLED THAT COMPLIES WITH ASTM E2006 OR E2090.
 5. THESE PLANS MAY BE HIPIED END TO END, FRONT TO BACK OR ROTATED 180°.
 7. RIDGEBEAM - 1.5" 2.0E 3100HP LVL OR OTHER APPROVED DESIGNS

WINDOW SCHEDULE									
SYM	SIZE	QUAN.	DESCRIPTION	ROUGH OPENING	HEIGHT	WIDTH	VENT	EGRESS	LoE ¹
3036	1	VERTICAL SLIDER W/W/ULTS (THERMO)	36 1/2"	30 1/2"	5.5	2.8	N/A	N/A	31
4848	1	FIXED PICTURE (THERMO)	48 1/2"	48 1/2"	12.2	N/A	N/A	31	24
3660	11	VERTICAL SLIDER W/W/ULTS (THERMO)	60 1/2"	36 1/2"	12.2	6.2	26 3/4"	33 1/2"	24
									51

DOOR SCHEDULE									
SYM	SIZE	QUAN.	DESCRIPTION	ROUGH OPENING	HEIGHT	WIDTH	VENT	EGRESS	LoE ¹
2064	1	INTERIOR 6-PANEL DOOR	82"	26"	N/A	N/A	N/A	N/A	N/A
2668	9	INTERIOR 6-PANEL DOOR	82"	32"	N/A	N/A	N/A	N/A	N/A
3068	2	INTERIOR 6-PANEL DOOR	82"	38"	N/A	N/A	N/A	N/A	N/A
3068	1	INTERIOR 6-PANEL DOOR	82"	38"	N/A	N/A	N/A	N/A	N/A
3068	1	1/2 GLASS STEEL	82"	38"	N/A	N/A	N/A	18.0	28
									19

YOUR LIFE

YOUR HOME

YOUR STYLE

Southern Energy Homes, Inc.

Energy Division

18025 COUNTY ROAD 41

P.O. BOX 269

ADDISON, AL 35540

PHONE: (256) 747-1544

FAX: (256) 255-3358

DRAWING:

FLOOR PLAN

SCALE:

NTS

DRAWN BY:

B. PRUITT

DATE:

12/29/16

FLOOR SIZE:

32' x 64'

MODEL NUMBER:

MFT-2530-SoHp-201

PLAN NUMBER:

SHEET NO.:

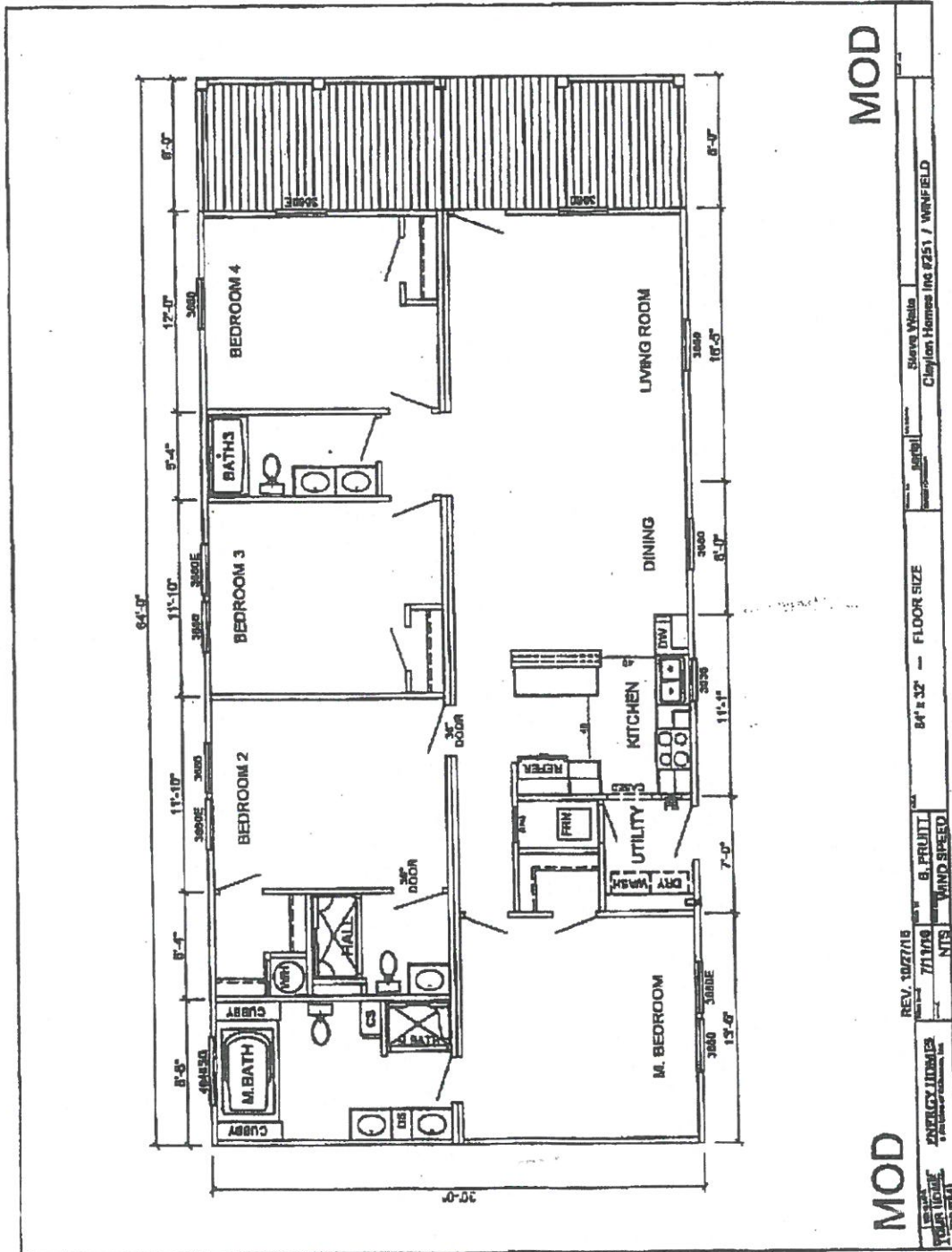
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clayton homes

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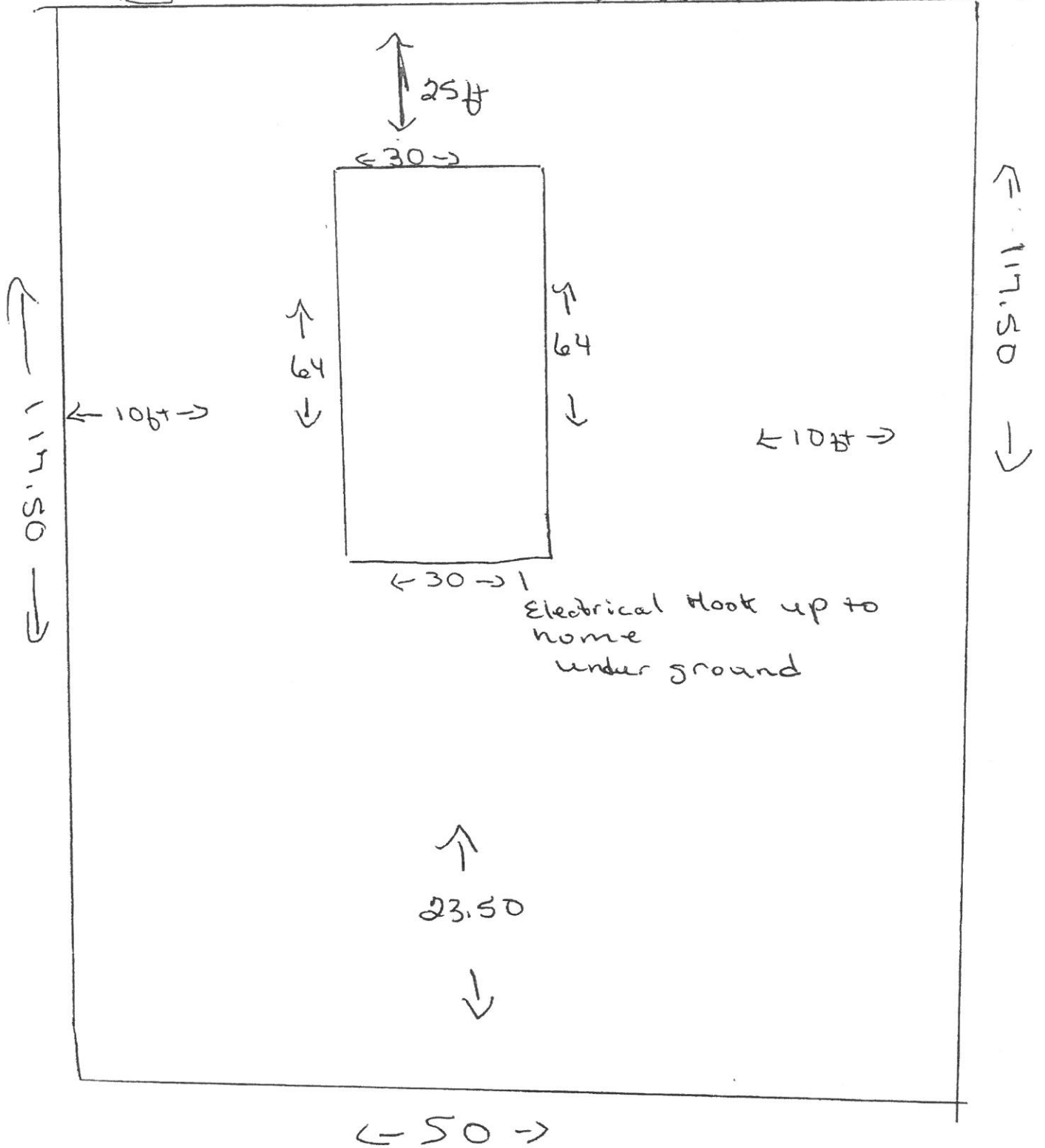


Shawna & wife

city connection

← 50 →

176 East Ave Port St. Joe IN



ORDINANCE 521

AN ORDINANCE OF THE CITY OF PORT ST. JOE, FLORIDA AMENDING THE LAND DEVELOPMENT CODE OF THE CITY; PROVIDING FINDINGS OF FACT; PROVIDING FOR DESIGN STANDARDS WITHIN RESIDENTIAL ZONING DISTRICTS; PROVIDING FOR FOUNDATION REQUIREMENTS; PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL OF ORDINANCES IN CONFLICT HERewith AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Port St. Joe (City) recognizes the unique location and susceptibility of the City to hurricane force winds, tidal waves and coastal flooding and the City desires to mitigate the possible effects of these forces on buildings within the City, and

Whereas the City finds that the high water table, the very high salt content of the soils and flood waters which inundate the City from time to time makes it necessary to regulate the type and grade of any metal objects which are installed for the purpose of securing any building to any site, and

WHEREAS the City recognizes that because of the severity of the wind forces during storm events additional care should be taken in providing enough weight to assist in resisting the uplift loads of all wood floor and other off grade buildings and preventing displacement of such buildings.

WHEREAS the City desires to protect the Architectural character of the City, the City wishes to mitigate the effects of plain front residential buildings which might take away from the character of the neighborhood in all areas of the City;

NOW, THEREFORE, be it enacted by the people of the City of Port St. Joe, Florida as follows:

Section 1. Section 3.01 of the Land Development Code of the City of Port St. Joe ("Code") is hereby amended to add subparagraph (7) which reads as follows:

- a. All off grade buildings shall be supported and tied to a continuous reinforced concrete footing of sufficient size to resist the gravity, wind and uplift forces which might be imposed on such buildings. Dry stack blocks as piers for support of any structure is prohibited.
- b. Any bolts, anchors, straps, tie downs or other type hardware which originates less than 12 inches above grade or ground should be of stainless steel material. The use of any galvanized material is prohibited due to the possible damage of the coatings during installation. This shall not apply to any such items permanently encased in concrete.

c. All new or remodeled buildings shall provide some form of architectural character with the use of design elements such as roof dormers, extended entry way, a covered porch, decorative columns or wing walls, and/or other features to enhance the appearance and alter the straight line or rectangular shape of the structure.

d. The crawl space of an off grade building (that area located between the grade and the lowest floor member) shall be shielded by some architectural feature which is compatible with the design and architecture of the building so that the line of sight from any public road or alley does not include any portion of the underside of the structure. Such feature shall be included as part of any building permit application.

Section 2. SEVERABILITY. If any section, subsection, sentence, clause or provision of this ordinance is held invalid, the remainder shall not be affected by such invalidity.

Section 3. REPEAL. All ordinances or resolutions or parts of ordinances or resolutions in conflict herewith are hereby repealed.

Section 4. EFFECTIVE DATE. This ordinance shall become effective upon adoption.

DULY PASSED AND ADOPTED by the board of City Commissioners of Port St. Joe, Florida this 15th day of December, 2015.

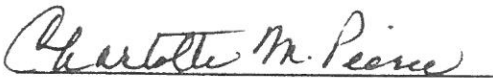
THE CITY OF PORT ST. JOE

By, 

James "Bo" Patterson

Mayor-Commissioner

ATTEST:



Charlotte M. Pierce, City Clerk

The following commissioners voted yea: *Mayor Patterson, Commissioners Bobbitt, Baggett, McCrown, Shustay*
The following commissioners voted nay: *None*

RESOLUTION NO. 2017-04

A RESOLUTION OF THE CITY COMMISSION OF PORT ST. JOE, FLORIDA, URGING ALL MEMBERS OF THE FLORIDA LEGISLATURE TO OPPOSE HB 17 AND SB 1158 WHICH PREEMPTS LOCAL BUSINESS REGULATIONS, PROHIBITS LOCAL GOVERNMENT FROM IMPOSING OR ADOPTING ANY NEW REGULATIONS ON BUSINESSES UNLESS EXPRESSLY AUTHORIZED BY THE LEGISLATURE; DIRECTING THE CITY MANAGER TO TRANSMIT A CERTIFIED COPY OF THIS RESOLUTION TO THE FLORIDA LEAGUE OF CITIES, THE GULF COUNTY LEGISLATIVE DELEGATION, THE BILL SPONSORS, AND ANY OTHER INTERESTED PARTIES; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Cities are voluntarily created and chartered by their citizens as the embodiment of local self-determination; and

WHEREAS, In 1968, Florida voters amended the state constitution to confer broad "Home Rule" powers to municipal government, under Article VII, Section 2(b); and

WHEREAS, a municipality's ability to timely act on local problems and opportunities will be limited by HB 17 and SB 1158 to a state legislature that holds session only once a year, and whose ability to address local problems will be contingent on the relative effectiveness of its representative in the state legislature; and

WHEREAS, HB 17 and SB 1158 contradicts the will of the people of Florida, who expressed an unequivocal desire for broad Home Rule powers in their state constitution; and

WHEREAS, HB 17 and SB 1158 undercut the intent of municipal citizens, who voted to incorporate their communities and exercise the broad Home Rule powers granted by the Florida Constitution to govern themselves and, thereby, effectively address the unique concerns of their communities; and

WHEREAS, HB 17 and SB 1158 could impair municipal charter provisions specifically adopted and approved by local voters to define their preferred form of self-government and safeguard issues of perennial importance to their communities; and

WHEREAS, state legislators may find themselves spending increasing amounts of time arbitrating over local problems and legislating on local issues, and less time attending to pressing statewide needs; and

WHEREAS, the City Commission believes the opposition of HB 17 and SB1158 would be in the best interests of the residents and businesses of the City of Port St. Joe and the State of Florida.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF PORT ST. JOE, FLORIDA, THAT:

SECTION 1. The foregoing "Whereas" clauses are hereby ratified and confirmed as being true and correct and are incorporated herein by this reference.

SECTION 2. The City Commission of the City of Port St. Joe urges all members of the Florida Legislature to oppose the adoption of HB 17 and SB 1158.

SECTION 3. All resolutions or parts of Resolutions in conflict herewith, are repealed to the extent of such conflict.

SECTION 4. This Resolution No. 2017-04 shall be effective on April 18, 2017.

CITY COMMISSION OF THE CITY
OF PORT ST. JOE, FLORIDA

BY: _____

James "Bo" Patterson
Mayor-Commissioner

ATTEST:

By: _____

Charlotte M. Pierce
Auditor / Clerk

RESOLUTION NO. 2017-05

A RESOLUTION OF THE CITY COMMISSION OF PORT ST. JOE, FLORIDA SUPPORTING THE MAGNUSON-STEVENS ACT THAT INCLUDES INCREASED FLEXIBILITY, USAGE OF RECENT AND RELEVANT DATA; EVALUATION OF ECONOMIC AND SOCIAL NEEDS OF A COMMUNITY AND STAKEHOLDER REFERENDA; PROVIDING AUTHORIZATION TO STAFF AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Port St. Joe is a Florida Municipality chartered on July 1, 1913;

WHEREAS, the Magnuson-Stevens Fishery Conservation and Management Act ("the Magnuson-Stevens Act") was originally enacted in 1976 and remains the primary law governing marine fisheries in federal waters in the United States;

WHEREAS, the Magnuson-Stevens Act lacks some critical components, like flexibility for states in managing recreational and commercial fisheries but contains other important features like stakeholder referenda requirements;

WHEREAS, the Gulf Coast's diverse fishing opportunities is one of the nation's most valuable assets;

WHEREAS, Florida is the number one state in angler expenditures (\$4.95 billion), according to 2011 USFWS Survey Information, making clear the importance of Florida's stakeholders' input;

WHEREAS, saltwater recreational fishing, including the red snapper fishery along the Gulf Coast, has a \$11.5 billion economic impact and supports 101,846 jobs, according to the National Marine Fishers Service, Fisheries Economics of the United States 2014;

WHEREAS, the Florida Fish and Wildlife Conservation Commission provided a successful example of the flexibility needed at the state level when it held a 78-day summer recreational red snapper season in Florida's Gulf of Mexico state waters during 2016. This season provided recreational harvest opportunities for Florida's residents and visitors, economic opportunities for Florida businesses, while also allowing the continued recovery of the fishery; and

WHEREAS, the federal recreational red snapper season length has declined from 365 days per year to only nine days in 2016, during a time that red snapper has become more abundant as the stock continually improves, indicating the reliance on stale data;

NOW, THEREFORE, BE IT RESOLVED by the City of Port St. Joe Board of City Commissioners the following:

SECTION 1. SUPPORT CONGRESSIONAL REAUTHORIZATION. The City of Port St. Joe Board of City Commissioners supports the Magnuson-Stevens Act with increased flexibility, usage of recent data, evaluation of economic and social needs of a community, and stakeholder referenda.

SECTION 2. PUBLICATION OF THIS RESOLUTION. City of Port St. Joe Board of City Commissioners are hereby authorized to publicize the Board's adoption of this Resolution No. 2017-05

SECTION 3. EFFECTIVE DATE. This Resolution No. 2017-05 shall be effective on April 18, 2017.

CITY COMMISSION OF THE CITY
OF PORT ST. JOE, FLORIDA

BY: _____

James "Bo" Patterson
Mayor-Commissioner

ATTEST:

By: _____

Charlotte M. Pierce
Auditor / Clerk



Overview



Legend

-  Parcels
- USA Major Highways**
 -  Limited Access
 -  Highway
 -  Major Road
 -  Local Road
 -  Minor Road
 -  Other Road
 -  Ramp
 -  Ferry
 -  Pedestrian Way

Parcel ID 06054-000R
Sec/Twp/Rng 1-8S-11W
Property Address 702 MONUMENT AVE
PORT ST JOE

Alternate ID 06054000R
Class SINGLE FAM
Acreage 0.452

Owner Address HADDOCK MARK & KAYE
702 MONUMENT AVENUE
PORT ST JOE, FL 32456

District 5
Brief Tax Description S 1 T 8 R 11 BEG AT NWC OF
(Note: Not to be used on legal documents)

Date created: 4/12/2017
Last Data Uploaded: 4/11/2017 3:23:31 PM

 Developed by
The Schneider Corporation

EXAMPLE

ORDINANCE NO. : 479

AN ORDINANCE OF THE CITY OF PORT ST. JOE, FLORIDA
ABANDONING A PORTION OF SIXTH STREET LOCATED
WITHIN THE CITY OF PORT ST. JOE; AND PROVIDING FOR AN
EFFECTIVE DATE.

BE IT ENACTED by the people of the City of Port St. Joe, Florida:

1. That portion of Sixth Street located between Woodward Avenue and the Northerly extension of the East line of Lot 1, Block 38, St. Joseph's Addition, Unit 3, as shown on the plat recorded in the public records of Gulf County, Florida at Plat Book 1, Page 32, is hereby vacated and abandoned.

2. EFFECTIVE DATE: This ordinance shall become effective upon adoption as provided by law.

DULY PASSED AND ADOPTED by the Board of City Commissioners of Port St. Joe, Florida this 6th day of March, 2012

THE CITY OF PORT ST. JOE

By: _____

MEL C. MACLESON, JR.
MAYOR-COMMISSIONER

ATTEST:

Charlotte M. Pierce

CHARLOTTE PIERCE
INTERIM CITY CLERK-AUDITOR

The following commissioners voted yea:

The following commissioners voted nay:

CONSTRUCTION AGREEMENT
BETWEEN THE ST. JOE COMPANY AND
THE CITY OF PORT ST. JOE

Concerning construction of the water and sewer utilities and related improvements along the eastern boundary of the WindMark Beach Development of Regional Impact ("DRI") and St. Joseph Beach in Gulf County, Florida.

THIS CONSTRUCTION AGREEMENT ("Agreement") made and entered into this ____ day of _____, 2008 by and between **THE ST. JOE COMPANY**, a Florida corporation, whose address is 245 Riverside Avenue, Ste. 500, Jacksonville, Florida 32202 ("St. Joe"), and **THE CITY OF PORT ST. JOE**, whose address is 305 Cecil G. Costin, Sr. Boulevard, Port St. Joe, FL 32456 ("City"), (collectively "the parties").

RECITALS

WHEREAS, St. Joe is currently pursuing development of the WindMark Beach DRI in Gulf County, Florida which will result in the need to provide third party property purchasers (the "End Users") with water and sewer services; and

WHEREAS, the City is a municipal organization within the State of Florida, which intends to construct the sewer and water line installations (the "Project"), pursuant to the plans and specifications, prepared by Preble-Rish, Inc. (the "Construction Documents") attached hereto as Exhibit "A", along the eastern boundary of the WindMark Beach DRI and along St. Joseph Beach in Gulf County, Florida (the "Property"); and

WHEREAS, the City may employ a contractor to perform its obligations under the terms of this Agreement (the "Subcontractor"); and

WHEREAS, advancement of the Project serves the interests of the City and St. Joe, and each party hereby agrees that the division of obligations and services set forth herein constitutes full and adequate consideration to induce the parties to enter into this Agreement; and

WHEREAS, the parties are authorized to enter into this agreement under law; and

WHEREAS, the City and St. Joe desire to memorialize and set forth their understanding and agreement with respect to allocation of obligations between the parties for these improvements as well as certain other matters addressed herein;

NOW THEREFORE, in consideration of these premises and the covenants contained herein, the parties agree to the following:

1. **Recitals.** The above Recitals are true and correct and by this reference are incorporated into and form a material part of this Agreement.

2. **Conveyance of Easements.** On or before the execution of this agreement, St. Joe shall convey to the City all necessary easements to and over the Easement Property (Exhibit B) to allow the City to install and maintain the utilities described in Exhibit A. The City will not install any infrastructure outside the easement property without the written consent of the St. Joe Company.

3. **Project Construction.** The City shall complete or cause the Subcontractor to complete all the Work required by the Construction Documents in a good and workmanlike manner with sufficient manpower to perform the Work in accordance with the time requirements of the Construction Documents. The term "Work" shall mean the totality of the obligations imposed by the Construction Documents, including, without limitation, the materials, equipment, and supplies to be provided and the labor to be performed, including, additional items of work which an experienced and prudent contractor would include along with that which is specified in order to complete the Work in accordance with the Construction Documents.

4. **Commencement and Completion of Work.** The City agrees to construct the Project consistent with the approved permits. The City or its Subcontractor shall commence the Work on or before March 24, 2008 ("Commencement Date") and shall achieve Certification of Completion (the "Certification") as issued by the Florida Department of Environmental Protection, (the "DEP") prior to payment by St. Joe of the Contract Sum (defined herein). Notwithstanding anything to the contrary contained herein, the City shall be responsible for obtaining Certification with respect to the Work. Upon completion of construction, the City shall provide St. Joe with an as-built survey of the Project and with all information with respect to the capacity of the Project sufficient to confirm the capacity of the Project is consistent with the terms of this Agreement.

5. **Contract Sum.** When the City first achieves Certification, St. Joe shall agree to pay the City for the performance of the Project the sum of Three Million Three Hundred Thousand and NO/100 U.S. Dollars (\$3,300,000) (the "Contract Sum"), no later than February 28, 2009. In the event the City does not achieve Certification on or before February 28, 2009, St. Joe shall not be required to pay the Contract Sum until such time as Certification of the Project occurs. Prior to Commencement of the Project, St. Joe shall provide a guaranty to the City for the Contract Sum in the form of a surety bond or bank Letter of Credit in the amount of Three Million Three Hundred Thousand and NO/100 U.S. Dollars (\$3,300,000).

6. **Subcontractors.** The City shall supply to St. Joe within ten (10) calendar days of execution of this Agreement, a list of subcontractors and suppliers to be used by the City. In addition, the City shall supply to St. Joe within five (5) calendar days of St. Joe's request, names of all subcontractors with whom the City has contracted or intends to contract for the construction of the Work or for the furnishing of labor or materials therefore and a complete accounting of all payments made to subcontractors, material suppliers and laborers and the balances owed to the subcontractors, material suppliers and laborers.

7. **Capacity.** The parties anticipates that construction of the Project shall result in an approximate sewer capacity of three thousand two hundred (3200) Equivalent Residential Connections. (ERC). St. Joe and its subsequent End Users shall be entitled to no less sewer capacity than 1600 ERC and the City shall reserve and dedicate to St. Joe sewer capacity of no less than 1600

ERCs. In reserving this sewer capacity, the City recognizes and agrees to maintain such sewer treatment capacity as is necessary to treat the effluent from this reserved sewer connection.

8. **Additional ERC.** Should St. Joe need additional sewer capacity in excess of the reserved 1600 ERCs in the WindMark Beach DRI property or other property within the city limits owned by St. Joe Company and serviced by this line, St. Joe Company may purchase any unsold excess capacity remaining on this sewer main from the City. In the event St. Joe Company purchases excess capacity and subsequently determines it does not have a need for the excess capacity purchased, St. Joe Company shall first offer excess ERCs back to the City at the original price paid by St. Joe. In the event the City does not elect to purchase the ERCs from St. Joe, St. Joe shall be allowed to sell the ERCs to purchasers other than End Users within the WindMark Beach DRI property or other property owned by St. Joe; however, St. Joe shall not be allowed to sell the ERCs for more than the price for which capacity was purchased per unit.

9. **Prepaid ERC Fees.** The City acknowledges St. Joe's prior payment of Ten Million, Fifty-Seven Thousand and 00/100 U.S. Dollars (\$10,057,000) in fees paid toward a Twelve Million and 00/100 U.S. Dollars (\$12,000,000) commitment for two thousand five hundred (2500) ERCs to be installed at WindMark Beach, and agrees that St. Joe is entitled to use those ERCs at St. Joe's discretion for property within WindMark Beach or other property owned by St. Joe within the City of Port St. Joe, Gulf County, Florida, without further payment required from St. Joe. The City further acknowledges that the payments and ERCs referenced in this section are separate and apart from the payments and ERCs which are the subject of this Agreement.

10. **Refund of ERC Fees.**

(a) Following construction of the Project, any new sewer system user, other than St. Joe or its subsequent End Users, shall pay a Capital Facility Charge as prescribed by the City. One half of such Capital Facility Charge for any ERC shall be placed in escrow by the City and returned annually to St. Joe. The City shall continue to refund to St. Joe one-half (1/2) of the Capital Facilities Charge for a period of 10 years or until the refunds by the City total the amount of Three Million Three Hundred Thousand Dollars and 00/100(\$3,300,000.00), whichever occurs first.

(b) Pursuant to an interlocal agreement between the City of Port St. Joe and Gulf County, certain existing households (estimated maximum of 1100) in the County are entitled to connect to this new sewer line portion of the Project for a fee of \$500.00, in lieu of the current Capital Facilities Charge. The income generated from any existing household which pays the \$500.00 fee is exempt from the rebate provisions of this paragraph and all of the \$500.00 fee will be retained by the City. Also exempt is the actual service connection fee charged by the City pursuant to Ordinance #390, Paragraph 3.

(c) On or before August 31, 2008, the City will provide to St. Joe the exact number of taps the City is obligated to provide the County's residents in Highland View and St. Joe Beach for a fee of \$500.00. The City will notify St. Joe of the exact number of taps the City is obligated to provide the County's residents in Beacon Hill for a fee of \$500.00 within 120 days of the date that notice of the low cost fee option is provided to Beacon Hill residents. As a result of the

grace period between the time residents apply for taps and pay the required fee, there may be residents who apply for but do not receive service. By December 31, 2008, the City shall notify St. Joe if any of the residents who applied for low cost connections will not be receiving one, and provide St. Joe with the resulting number of ERCs available for reimbursement to St. Joe within Section 10(a).

11. **Time is of the Essence.** Time is of the essence with respect to the City's obligations under this Agreement.

12. **Laws and Regulations.** The City, its subcontractor, and its employees and representatives shall at all times, comply with all applicable laws, ordinances, statutes, rules or regulations in effect at the time Work is performed under this Agreement.

13. **Waiver of Subrogation.** The City and St. Joe waive all rights against one another and any of their respective agents and employees for all losses and damages to the extent covered by the policies of insurance obtained pursuant to this Agreement.

14. **Enforcement.** A default by either Party under this Agreement shall entitle the other Party to all remedies available in law or in equity, which shall include, but not be limited to, the right of damages, injunctive relief and specific performance. Failure by either party to perform each and every one of its obligations hereunder shall be a default, entitling either party to pursue whatever remedies are available to it under Florida law. Each of the Parties hereto shall give the other party written notice of any defaults hereunder and shall allow the defaulting party not less than five (5) days from the date of receipt of such notice to cure monetary defaults and fifteen (15) days to cure other defaults.

15. **Attorneys' Fees and Costs.** In the event either party is required to enforce this Agreement by court proceedings or otherwise, then the prevailing party shall be entitled to recover from the other party all costs incurred, including reasonable attorneys' fees, whether incurred prior to, during or subsequent to such court proceedings or on appeal.

16. **Amendments.** Amendments to and waivers of the provisions contained in this Agreement may be made only by an instrument in writing executed by both of the Parties hereto.

17. **Authorization.** The execution of this Agreement has been duly authorized by the appropriate body or official of all Parties hereto, each party has complied with all the requirements of law, and each party has full power and authority to comply with the terms and provisions of this Agreement.

18. **Notices.** All notices, requests, consents and other communications hereunder ("Notices") shall be in writing and shall be delivered, mailed by First Class Mail, postage prepaid to the Parties as follows:

If to ST. JOE

Joe Rentfro
The St. Joe Company
301 East First Street
Port St. Joe, FL 32456

With a copy to:

Melissa Hornsby
3800 Esplanade Way, Suite 100
Tallahassee, FL 32311

If to CITY

Mr. Charles W. Weston
City Manager – The City of Port St. Joe
305 Cecil G. Costin, Sr. Boulevard
Port St. Joe, FL 32456

With a copy to:

Mr. Thomas Gibson
Rish, Gibson, Scholz & Groom
116 Sailors Cove Drive
Port St. Joe, FL 32456

Except as otherwise provided herein, any such notice, request, consent or other communications ("Notices") shall be sent by certified United States Mail, return receipt requested and postage prepaid, or by other reputable courier that provides receipt of delivery. Alternatively, Counsel for the Parties may deliver Notice on behalf of the Parties and provide a certificate of service of same showing the date and time of actual delivery. Notices delivered after 5:00 p.m. (at the place of delivery) or on a non-business day, shall be regarded as received on the next business day. Saturdays, Sundays and legal holidays of the United States government shall not be regarded as business days. If any time for giving Notice contained in this Agreement would otherwise expire on a non-business day, the Notice period shall be extended to the next succeeding business day. Any party or other person to whom Notices are to be sent or copied may notify the other Parties and addressees of any change in address to which Notices shall be sent by five (5) days written Notice to the Parties and addressees set forth herein.

19. **Assignment.** The City shall not assign its rights under this agreement without St. Joe's prior written consent, which shall not be unreasonably withheld. No assignment, whether or not permitted under this section, shall relieve the City of its obligations under this agreement.

20. **Claims and Disputes.** No claim by the City for an increase in the Contract Sum shall be considered unless the City provides St. Joe with written notice of any such claim not later than fourteen (14) calendar days after the occurrence of the event giving rise to such claim, but prior to incurring any expenses by the City. Failure to give such notice shall constitute a waiver of such claim.

21. **Entire Agreement.** This document incorporates and includes all prior negotiations, correspondence, conversations, agreements, or understanding applicable to the matters contained herein and the parties agree that there are no commitments, agreements or understanding concerning

the subject matter of this Agreement that are not contained in this document. Accordingly, it is agreed that no deviation from the terms hereof shall be predicated upon any prior representation or agreements whether oral or written. It is further agreed that no modification, amendment, or alteration in the terms or conditions contained herein shall be effective unless contained in a written document executed with the same formality of equal dignity herewith.

22. **Applicable Law.** This Agreement shall be construed, interpreted and controlled by the laws of the State of Florida. In the event judicial proceedings are required to enforce the terms of this Agreement, the parties agree that venue shall be in Gulf County, Florida.

IN WITNESS WHEREOF, the Parties hereto have caused this Agreement to be executed under seal by their duly authorized representatives, the day and year first above written.

THE ST. JOE COMPANY,
a Florida corporation

Sarah Lamberson
Witness
Dane Caldwell
Witness

By: Joe R. Smith
Date: 19 MAY 08

Attest:

Laurie L. Sanders

CITY OF PORT ST. JOE

By: Michael J. Smith

[Signature]
CITY ATTORNEY

Impact Fee

NAME	PROPERTY ADDRESS	SERVICE	BILL	PARCEL ID	DATE	SEWER IMPACT	SEWER IMPACT
Johnson, Scott	177 Watermark Way, Old Hwy 98, FL 32456	Sewer	CO		2/10/2009	\$ 1,800.00	\$ 470.00
Webber, Wendy	181 Watermark Way, Old Hwy 98, FL 32456	Sewer	CO		3/26/2009	\$ 1,800.00	\$ 470.00
Allison, Mittie	6773 Georgia Ave, St Joe Beach, FL 32456	Sewer	CO		6/18/2009	\$ 1,800.00	\$ 470.00
Messer, Chuck	335 Bay Street, St Joe Beach, FL 32456	Sewer	CO		10/6/2009	\$ 1,800.00	\$ 470.00
Novak, Jeremy	130 Pine Street, St Joe Beach, FL 32456	Sewer	CO		12/4/2009	\$ 1,800.00	\$ 470.00
Big Fish Const	132 Pine St, St Joe Beach, FL 32456	Sewer	CO		12/8/2009	\$ 1,800.00	\$ 470.00
Waldsmith, John	226 Bay St, St Joe Beach, FL 32456	Water&Sewer	CO		12/17/2009	\$ 1,800.00	\$ 470.00
Johnson, Paul	212 Pineda, St Joe Beach, FL 32456	Sewer	CO		2/24/2010	\$ 1,800.00	\$ 470.00
K&D Constructin	114 Gulf Terrace Lane, St Joe Beach, FL 32456	Water&Sewer	CO		3/22/2010	\$ 1,800.00	\$ 470.00
Melton, Dorothy	485 Santa Anna, St Joe Beach, FL 32456	Sewer	CO		4/9/2010	\$ 1,800.00	\$ 470.00
Trautwein, John	6677 Alabama Ave, St Joe Beach, FL 32456	Water&Sewer	CO		6/24/2010	\$ 1,800.00	\$ 470.00
Smith, J.R.	7401 Hwy 98, St Joe Beach, FL 32456	Sewer	CO		9/17/2010	\$ 1,800.00	\$ 470.00
Nowell, Vance	119 Traceview Way St Joe Beach, FL 32456	Water&Sewer	CO		11/4/2010	\$ 1,800.00	\$ 470.00
Oldham, Denise	7271 Alabama Ave, St Joe Beach, FL 32456	Sewer	CO		11/5/2010	\$ 1,800.00	\$ 470.00
Royal, Carolyn	7318 Alabama Ave, St Joe Beach, FL 32456	Sewer	CO		2/10/2011	\$ 1,950.00	\$ 620.00
Dickerson, Brenda	6736 Georgia Ave, St Joe Beach, FL 32456	Water&Sewer	CO		3/11/2011	\$ 1,950.00	\$ 620.00
Peterson, Richard	212 Gulf St, St Joe Beach, FL 32456	Sewer	CO		5/16/2011	\$ 1,950.00	\$ 620.00
Bridges, Bryan	352 Gulf Street, St Joe Beach, FL 32456	Water&Sewer	CO		7/12/2011	\$ 1,950.00	\$ 620.00
Crews, Donald	6620 Americus, St Joe Beach, FL 32456	Water&Sewer	CO		7/27/2011	\$ 1,950.00	\$ 620.00
A Watson Const	118 Hidden Ridge, St Joe Beach, FL 32456	Water&Sewer	CO		8/25/2011	\$ 1,950.00	\$ 620.00
Webb, Andrew	302 Sea Haven Rd, St Joe Beach, FL 32456	Water&Sewer	CO		10/17/2011	\$ 1,950.00	\$ 620.00
Joswiak, Melba	6722 Georgia Ave, St Joe Beach, FL 32456	Water&Sewer	CO		11/1/2011	\$ 1,950.00	\$ 620.00
Luckariff, Heather	348 Bay St, St Joe Beach, FL 32456	Sewer	CO		4/18/2012	\$ 2,130.00	\$ 726.00
Zbigniew, Haranke	123 Traceview Way, St Joe Beach, FL 32456	Water&Sewer	CO		6/28/2012	\$ 2,130.00	\$ 726.00
Bradermann, Bob	6317 Georgia Ave, St Joe Beach, FL 32456	Water&Sewer	CO		6/29/2012	\$ 2,130.00	\$ 726.00
Griffes, Brenda	6440 Americus St, St Joe Beach, FL 32456	Water&Sewer	CO		9/27/2012	\$ 2,130.00	\$ 726.00
Presley, Steve	234 Coronado St, St Joe Beach, FL 32456	Sewer	CO		11/1/2012	\$ 2,130.00	\$ 726.00

Dempsey, Charlotte	212 Santa Anna, St Joe Beach, FL 32456	Sewer	CO	04068-000R	11/21/2012	\$ 2,130.00	\$ 726.00
Deborah Clark	224 Bay St, St Joe Beach, FL 32456	Water&Sewer	CO	04011-050R	1/24/2013	\$ 2,130.00	\$ 726.00
Melton, Dorothy	485 Santa Anna, St Joe Beach, FL 32456	Sewer	CO		2/4/2013	\$ 2,130.00	\$ 726.00
Phillips, Lawrence	435 Gulf St, St Joe Beach, FL 32456	Sewer	CO		2/11/2013	\$ 2,130.00	\$ 726.00
Wayne Melvin	6662 Alabama, St Joe Beach, FL 32456	Water&Sewer	CO		2/26/2013	\$ 2,130.00	\$ 726.00
Milford Elliot	478 Pineda, St Joe Beach, FL 32456	Water&Sewer	CO		3/4/2013	\$ 2,130.00	\$ 726.00
Steve Prance	178 Selma, St Joe Beach, FL 32456	Water&Sewer	CO		3/6/2013	\$ 2,130.00	\$ 726.00
Kelly Forehand	117 South Brook Ave, St Joe Beach, FL	Water&Sewer	CO	04231-055R	3/13/2013	\$ 2,130.00	\$ 726.00
Mary Campbell	6960 Americus Ave, St Joe Beach, FL 32456	Water&Sewer	CO	04089-005R	3/21/2013	\$ 2,130.00	\$ 726.00
Ronald & Kerri Young	449 Gulf St, St Joe Beach, FL 32456	Water&Sewer	CO		5/1/2013	\$ 2,130.00	\$ 726.00
Joel & Delana Upchurch	124 Gulf St, St Joe Beach, FL 32456	Water&Sewer	CO	04089-005R	5/14/2013	\$ 2,130.00	\$ 726.00
Wayne Schroeder, Const	123 Hidden Ridge, St Joe Beach, FL 32456	Water&Sewer	CO		5/28/2013	\$ 2,130.00	\$ 726.00
Patricia Deal	7834 Alabama, St Joe Beach, FL 32456	Water&Sewer	CO	04221-000R	6/11/2013	\$ 2,130.00	\$ 726.00
Aubrey Singleton	212 Cortez, St Joe Beach, FL 32456	Water&Sewer	CO	04187-013R	6/11/2013	\$ 2,130.00	\$ 726.00
Douglas Rillstone	228 Seagrass Cir., Cape San Blas, FL 32456	Sewer	CO		6/21/2013	\$ 2,130.00	\$ 726.00
Big Fish,	27 Magnolia Bluff, St Joe Beach, FL 32456	Water&Sewer	CO		7/11/2013	\$ 2,130.00	\$ 726.00
Ben Smith	7631 Americus, St Joe Beach, FL 32456	Water&Sewer	CO		7/25/2013	\$ 2,130.00	\$ 726.00
Michael St John	6620 Georgia Ave, St Joe Beach, FL 32456	Water&Sewer	CO		8/30/2013	\$ 2,130.00	\$ 726.00
Lawrence & Peggy Jones	7531 Alabama, St Joe Beach, FL	Water&Sewer	CO	04187-000R	10/2/2013	\$ 2,130.00	\$ 726.00
F&B Builders	8149 Hwy 98, St Joe Beach, FL	Water&Sewer	CO	03806-019r	10/28/2013	\$ 2,130.00	\$ 726.00
Marsha Younce	233 Pine St, St Joe Beach, FL	Water&Sewer	CO		12/31/2013	\$ 2,130.00	\$ 726.00
Gulf Coast Property Serv.	113 Gulf Terrace Lane, St Joe Beach, FL	Sewer	CO		1/28/2014	\$ 2,130.00	\$ 726.00
Blackfin Cost.	103 Traceview Way, St Joe Beach, FL	Water&Sewer	CO	03816-505r	3/3/2014	\$ 2,130.00	\$ 726.00
Jerry Rammy	338 Selma St, St Joe Beach, FL	Water&Sewer	CO	03900-000r	3/3/2014	\$ 2,130.00	\$ 726.00
Jared Clain Candace Frazee	127 Pineda, St Joe Beach, FL	Water&Sewer	CO	03900-000r	3/3/2014	\$ 2,130.00	\$ 726.00
Robert Haney	516 Dolphin St, Port St Joe, FL	Water&Sewer	CO		3/10/2014	\$ 2,130.00	\$ 726.00
Jeffrey Ross	109 Conch St, Port St Joe, FL	Water&Sewer	CO		3/11/2014	\$ 2,130.00	\$ 726.00
Benjamin Hinds	130 Gulf Terrace Ln, St Joe Bch, FL	Water&Sewer	CO		3/18/2014	\$ 2,130.00	\$ 726.00
Thomas Hutchison	391 Bonita St, Highlandview, FL	Sewer	CO		3/24/2014	\$ 2,130.00	\$ 726.00
Watson Brother Const.	107 Hidden Ridge, St Joe Beach, FL	Water&Sewer	CO		4/25/2014	\$ 2,130.00	\$ 726.00
	Subtotal					\$ 115,350.00	\$ 36,950.00
	Total						\$ 152,300.00
	50% of Subtotal						\$ 76,150.00

NAME	PROPERTY ADDRESS	SERVICE	BILL	PARCEL ID	DATE	SEWER	SEWER
David Wiggins	220 Ponce De Leon, St Joe Beach, FL	Sewer	CO		5/14/2014	\$ 2,130.00	\$ 726.00
Susan Arlington	254 Cortez, St Joe Beach, FL 32456	Water&Sewer	CO	04187-007r	5/28/2014	\$ 2,130.00	\$ 726.00
James Parker	115 Columbus, St Joe Beach, FL	Water&Sewer	CO	03831-001r	6/11/2014	\$ 2,130.00	\$ 726.00
Ryan Henderson	7558 Americus, St Joe Beach, FL 32456	Water&Sewer	CO	04187-014r	6/26/2014	\$ 2,130.00	\$ 726.00
Ted Lakey	6260 Hwy 98, St Joe Beach, FL	Sewer	CO	03924-000r	7/31/2014	\$ 2,130.00	\$ 726.00
Mark Rosenquist	207 Stingray Lane, SunsetVillage, St Joe Beach, FL	Water&Sewer	CO	04231-335r	8/25/2014	\$ 2,130.00	\$ 726.00
Benjamin Hinds	120 Gulf Terrace Ln, St Joe Bch, FL	Water&Sewer	CO	03816-645r	12/1/2014	\$ 2,130.00	\$ 726.00
Big Fish, Francisco Gonzales	7138 Hwy 98, St Joe Beach, FL	Water&Sewer	CO	03955-045r	1/14/2015	\$ 2,130.00	\$ 726.00
Douglas, Crew, Ward	229 Santa Anna, St Joe Beach, FL 32456	Water&Sewer	CO	04088-005r	3/9/2015	\$ 2,130.00	\$ 726.00
Ralph Roberson	216 Stingray Ln, St Joe Beach, FL	Water&Sewer	CO	04231-290r	3/18/2015	\$ 2,130.00	\$ 726.00
Jim Copeland	138 Magellan, St Joe Beach, FL 32456	Water&Sewer	CO	03954-000r	4/9/2015	\$ 2,130.00	\$ 726.00
Todd & Kelly Jones	7820 Alabama, St Joe Beach, FL 32456	Water&Sewer	CO	04221-050r	5/4/2015	\$ 2,130.00	\$ 726.00
Dale Neel	6860 Americus, St Joe Beach, FL 32456	Water&Sewer	CO	04068-050r	5/20/2015	\$ 1,275.00	\$ 425.00
Big Fish,James Hardenbrook	6427 Georgia, St Joe Beach, FL	Water&Sewer	CO	04013-001r	5/21/2015	\$ 2,130.00	\$ 726.00
Jay Markwell	161 Silverstrand Way, St Joe Beach, FL	Water&Sewer	CO	03816-090r	5/22/2015	\$ 2,130.00	\$ 726.00
Kim & Garry Smith	131 Canal St, St Joe Beach, FL 32456	Water&Sewer	CO	03906-002r	6/9/2015	\$ 2,130.00	\$ 726.00
Benjamin Hinds	138 White Blossom, St Joe Beach, FL 32456	Water&Sewer	CO	03816-395r	6/26/2015	\$ 2,130.00	\$ 726.00
Blackfin, Jeff Fenner	100 Stingray Lane, St Joe Beach, FL 32456	Water&Sewer	CO	04231-395r	7/9/2015	\$ 2,130.00	\$ 726.00
Tony Whitfield-Shipwreck	7008 W Hwy 98, St Joe Beach, FL	Sewer	CO	03946-000r	9/3/2015	\$ 2,130.00	\$ 726.00
James Timmins-Singleton	153 Balboa, St Joe Beach, FL	Water&Sewer	CO	03968-050r	9/4/2015	\$ 2,130.00	\$ 726.00
Milliron Const-Erin McGlone	115 Traceview Way, St Joe Beach, FL	Water&Sewer	CO	03816-502r	9/9/2015	\$ 2,130.00	\$ 726.00
Benjamin Hinds	107 Gulf Terrace Lane, St Joe Beach, FL 32456	Water&Sewer	CO	03816-740r	9/21/2015	\$ 1,491.00	\$ 508.20
Clay Williams	125 Sea Haven, St Joe Beach, FL 32456	Water&Sewer	CO	03814-275r	10/5/2015	\$ 1,491.00	\$ 508.20
F&B Builders-Carpenter	163 Gulf Coast Circle, StJoeBeach,FL32456	Water&Sewer	CO	03039-490r	10/9/2015	\$ 1,491.00	\$ 508.20
Benjamin Hinds	115 Gulf Terrace Lane, StJoeBeach,FL32456	Water&Sewer	CO	03816-720r	10/29/2015	\$ 1,491.00	\$ 508.20
Mike Smith	244 Cortez, Port St Joe, FL 32456	Water&Sewer	CO	04187-009r	10/30/2015	\$ 1,491.00	\$ 508.20
Teresa Magness	110 Watermark Way, StJoeBeach,FL32456	Water&Sewer	CO	04243-010r	10/30/2015	\$ 1,491.00	\$ 508.20
Dave Madison	111 Hidden Ridge, St Joe Beach, FL 32456	Water&Sewer	CO	03816-125r	12/23/2015	\$ 1,491.00	\$ 508.20
Reid Turner	223 Atlantic St, St Joe Beach, FL 32456	Water&Sewer	CO	04041-000r	3/3/2016	\$ 1,491.00	\$ 508.20
Big Fish-Novak	119 N Caicos, St Joe Beach, FL 32456	Water&Sewer	CO	03814-190r	3/23/2016	\$ 1,491.00	\$ 508.20
Big Fish-McCarthy	173 Westview, St Joe Beach, FL 32456	Water&Sewer	CO	04231-355r	4/6/2016	\$ 1,491.00	\$ 508.20
Tim & Christine Abscher	121 Hidden Ridge, St Joe Beach, FL32456	Water&Sewer	CO	03816-150r	4/11/2016	\$ 1,491.00	\$ 508.20
F&B Laycock	135 Sea Haven, St Joe Bch, FL 32456	Water&Sewer	CO	04276-395r	5/3/2016	\$ 1,491.00	\$ 508.20
Alan Gaddis	7799 Hwy 98, St Joe Beach, FL 32456	Sewer	CO	03821-050r	5/31/2016	\$ 1,491.00	\$ 508.20
Merci McDonald	324 Selma Ave, St Joe Beach, FL 32456	Sewer	CO	04051-050r	6/15/2016	\$ 1,491.00	\$ 508.20
Wayne Roworth	7372 Georgia Ave, St Joe Beach, FL 32456	Water&Sewer	CO	04170-002r	6/21/2016	\$ 1,491.00	\$ 508.20
F&B	123 Watermark Way, St Joe Bch, FL 32456	Water&Sewer	CO	04244-000r	6/28/2016	\$ 1,491.00	\$ 508.20
Mike Bunker	6408 Hwy 98, St Joe Beach, FL 32456	Sewer	CO	03901-005r	7/11/2016	\$ 1,491.00	\$ 508.20
F&B	8106 N Cacois, St Joe Bch, FL 32456	Water&Sewer	CO	03814-155r	8/22/2016	\$ 1,491.00	\$ 508.20
	Subtotal					\$ 70,713.00	\$ 24,092.60
	Total						\$ 94,805.60
	50% of Subtotal						\$ 47,402.80
	Total Due as of August 22, 2016						\$ 123,552.80

Accounts Activated Before 2/19/10 without Confirmation fo Payments of Tap Fees

Phase 1 Residential Tap Fees:

Address	Amount Due
203 Windmark Way	\$ 800
206 Windmark Way	\$ 800
309 Windmark Way	\$ 800
317 Windmark Way	\$ 800
403 Windmark Way	\$ 800
436 Windmark Way	\$ 800
519 Windmark Way	\$ 800
523 Windmark Way	\$ 800
101 Windmark Way	\$ 800
415 Windmark Way- 2"	
108 Tall Pines Lane	\$ 800
206 Signal Lane	\$ 800
215 Signal Lane	\$ 800
216 Signal Lane	\$ 800
217 Signal Lane	\$ 800
111 Tower Lane	\$ 800
Ph 1 Residential Tap Total:	\$ 12,000

Phase 1 Commercial Tap Fees:

Address	Amount Due
415 Windmark Way- 2"	\$ 800
Ph 1 Commercial Tap Total:	\$ 800

Phase 2 Residential Tap Fees:

Address	Amount Due
607 Front Lane- Sewer Only	\$ 400
102 Wet Feet	\$ 800
103 Pin Wheel	\$ 800
106 Goldfish Ct	\$ 800
614 Tidewater	\$ 800
Ph 2 Residential Tap Total:	\$ 3,600

Phase 2 Commercial Tap Fees:

Address	Amount Due
Village Center- 14 @ 2"	\$ 11,200
Ph 2 Commercial Tap Total:	\$ 11,200

Sacred Heart Commercial Tap Fees:

Address	Amount Due
Hospital- 2 @ 4"	\$ 1,600
Ph 2 Commercial Tap Total:	\$ 1,600

Total Tap Fees Due: \$ 29,200

Zimbra

janderson@psj.fl.gov

Fwd: City of PSJ meeting

From : Charlotte Pierce <cpierce@psj.fl.gov>

Mon, Apr 10, 2017 10:52 AM

Subject : Fwd: City of PSJ meeting

To : Jim Anderson <janderson@psj.fl.gov>

Mr. Jim,

Please see the request below. This is concerning the FRDAP Committee.

Thanks,

Charlotte M. Pierce, City Clerk
Human Resource Officer / Grant Writer
P. O. Box 278 - Port St. Joe, FL 32457
850-229-8261 / Fax 850-229-8325

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From: "Sarah JQ Hinds" <Sarah.Hinds@flhealth.gov>

To: "Charlotte Pierce" <cpierce@psj.fl.gov>

Sent: Monday, April 10, 2017 10:00:03 AM

Subject: RE: City of PSJ meeting

Ms. Charlotte,

Hope all is well with you. I would like to add Jessie Pippin and Kari Williams to this committee. Thank you!

Jessie.Pippin@flhealth.gov
Kari.Williams@flhealth.gov

From: Charlotte Pierce [mailto:cpierce@psj.fl.gov]
Sent: Wednesday, March 15, 2017 4:50 PM
To: Hinds, Sarah JQ <Sarah.Hinds@flhealth.gov>
Subject: Re: City of PSJ meeting

Sarah,

This would be the Florida Recreation Development Assistance Program (FRDAP) Committee and if there are individuals that would be interested in serving on the committee please send their names to me.

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Thanks,

Charlotte M. Pierce, City Clerk
Human Resource Officer / Grant Writer
P. O. Box 278 - Port St. Joe, FL 32457
850-229-8261 / Fax 850-229-8325

From: "Sarah JQ Hinds" <Sarah.Hinds@flhealth.gov>
To: cpierce@psj.fl.gov
Sent: Tuesday, March 14, 2017 3:09:28 PM

Subject: City of PSJ meeting

Ms. Charlotte,

Last week, the City of Port St. Joe discussed some subcommittee focused on recreation. The health department is interested in joining this subcommittee.

Thanks!

Sarah Hinds, MPH
Operations Manager and Management Consultant
Public Information Officer
Florida Department of Health in Gulf County
2475 Garrison Avenue
Port Saint Joe, FL 32456
Office Phone: 850-227-1276 x 0422
E-mail: Sarah.Hinds@flhealth.gov

The Florida Department of Health, nationally accredited by the Public Health Accreditation Board, works to protect, promote and improve the health of all people in Florida through integrated state, county and community efforts.

Follow us on Twitter at [@HealthFLa](https://twitter.com/HealthFLa) and on Facebook. For more information about the Florida Department of Health, please visit www.FloridaHealth.gov.

NOTE: Florida has a very broad public records law. Most written communications to or from state officials regarding state business are public records available to the public and media upon request. Your email communication may therefore be subject to public disclosure.

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**CITY OF PORT SAINT JOE
ROW UTILIZATION / CONSTRUCTION APPLICATION**

DIRECTIONS: Legibly complete and application as required. Sign both pages of application. For any questions, contact the Public Works Department at 850-229-8247.

Section I APPLICANT INFORMATION

APPLICANT NAME: _____
COMPANY NAME: _____ PHONE NUMBER: (____)____ - ____ Ext. _____
ADDRESS: _____ Emergency 24-hour/7-day Contact Information:
Name/Number: _____
EMAIL: _____

Section II PROJECT INFORMATION

PROJECT NAME _____
LOCATION OF PROPOSED CONSTRUCTION _____
TAX PACE ID # _____
DESCRIBE CONSTRUCTION: _____

Bore – City paved / Stabilized Roadway		Open Cut – City Paved / Stabilized Roadway	
Bore & Jack	Total No. _____	Paved	Total No. _____
Direction Bore	Total No. _____	Stabilized	Total No. _____
Pole Installations	Total No. _____	Poles Used / Upgrade	Total No. _____
Trench	LF _____ Width FT _____	Road/Lane/Sidewalk Closure	<input type="checkbox"/> _____
Block/Impede Pedestrian Traffic		(Note: If pedestrian traffic is affected within a 1/2 mile radius of a school, applicant agrees to coordinate with school officials) - <input type="checkbox"/>	

DESCRIBE OTHER CONSTRUCTION _____

Section III LOCATION OF EXISTING UTILITIES

(Applicant agrees all existing utilities/facilities shall be located, exposed and verified prior to construction)
Call Sunshine State one call of Florida 800-432-4770 prior to construction

Section IV MAINTENANCE OF TRAFFIC

All construction activity within The City of PSJ Public Rights-of-Way/Easements require an M.O.T. plan.
This permit does not include M.O.T. approval. See condition 6 of page 2 of this permit application

Section V NOTICE OF CONSTRUCTION

THE PUBLIC WORKS DEPARTMENT MUST BE CONTACTED A MINIMUM OF 24 HOURS AND A MAXIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION (850) 229-8247.

Section VI CONTRACTOR AND/OR OWNER/AUTHORIZED AGENT SIGNATURES

I/WE REPRESENT THAT THE ABOVE STATEMENTS AND THE INFORMATION, STATEMENTS AND REPRESENTATIONS ON MATERIALS SUBMITTED HERewith IS TRUE. I/WE ARE PROVIDING THESE MATTERS TO INDUCE THE CITY OF PORT ST JOE TO ISSUE A CONSTRUCTION PERMIT. I/WE AGREE WITH ALL CONDITIONS IMPOSED BY THE CITY OF PORT ST JOE.

APPLICANT/CONTRACTOR

SIGNATURE _____ TITLE: _____ DATE: ____ - ____ - ____

OWNER/AUTHORIZED

AGENT SIGNATURE _____ TITLE: _____ DATE: ____ - ____ - ____

Section VII PERMIT ACTION

APPROVED - ☐ APPROVED WITH SPECIFIC CONDITIONS - ☐ DENIED - ☐

PERMIT NO. _____ FEE: \$ _____

APPROVAL DATE: ____ -- ____ -- ____ APPLICATION APPROVED BY: _____

EXPIRATION DATE: ____ -- ____ -- ____ City Manager (or Designee)

CONDITIONS

1. The issuance of this Permit is governed by and regulated by the following:
 - a. The Florida State Statutes relating to the use of City Right-of-Way and Property Interests.
 - b. The Florida Administrative Code.
 - c. City of Port St Joe Codes, Ordinances and Policies.
 - d. Any fees established by The City of Port St. Joe and any additional requirements and conditions of the City of Port St. Joe Board of City Commissioners.
2. It is understood and agreed that the Licenses and Privileges herein set out are granted to the extent of the City's right, title and interest, if any, in the land to be entered upon and used by the Permittee, and the Permittee will at all times, assume any and all risk of and indemnify, defend, and save harmless the City from and against any and all losses, damages, costs and expenses arising in any manner whatsoever on account of or in any way resulting from the exercise or attempted exercise by said Permittee of the aforesaid approved Licenses and Privileges or otherwise resulting from the acts or omissions of the Permittee or its officers, employees or agents. The Permittee agrees that its assumption of risks and obligations to indemnify the City related to Permittee's work or placement of any improvements shall survive the expiration date of this Permit. The Permittee agrees to pay any and all costs, fees and expenses that the City in any way incurs relative to enforcing the terms and conditions of this Permit, including but not limited to, Attorneys' Fees and Legal Costs at trial, on appeal or at any administrative proceeding. The Permittee understands and acknowledges that any and all payments to obtain this permit only cover direct and indirect costs which the Permittee's use of public right-of-way have or will generate, and further that such payments do not encompass the fair value of Permittee's use or occupation of public rights-of-way.
3. It is expressly agreed by the Permittee that this Permit is for a License for Permissive Use only and that the placing of improvements, such as, but not limited to, utilities, facilities, roadways, structures or landscaping upon public property pursuant to this Permit shall not operate to create or vest any property right whatsoever in said Permittee, current owner/operator or adjacent property owner. The scope of this license shall not be expanded physically, functionally or as to the breadth of services permitted through it without the prior consent of the City. A copy of this permit shall be on site during construction.
4. The Permittee agrees that the construction and/or maintenance of improvements shall not interfere with the property and rights of a prior occupant including, but not limited to, the City. The Permittee shall pay any and all costs and expenses in any way relating to activities of the Permittee interfering with said property and/or rights.
5. In the event of rerouting, widening, repair, construction or reconstruction of public roadways, utilities, facilities or structures, the Permittee shall, within ninety(90) days of receiving written notice from the City, remove or relocate its facilities within the Public rights-of-way, at no cost to City, to clear the area for the City's work.
6. The Permittee and the holder of this Permit shall take all safety measures, including, but not limited to, the placing and displaying of warning/channelizing/regulatory signs, signals, lights, barricades, cones, drums, beacons, devices, pavement markings and flaggers as required by the most recent FDOT Roadway and Traffic Design Standards and shall also prevent any obstructions or conditions which are or may become dangerous to the traveling public as conclusively determined by the City of Port St. Joe. The Permittee shall be responsible for any and all costs related to loss of life, personal injury and/or property damage relating to the impedance obstruction of either pedestrian or vehicular traffic.
7. If an emergency or any other situation arises which a reasonably prudent person would believe to be an emergency situation, the Permittee and the holder of this permit shall immediately take all actions necessary to ensure the safety of the traveling public and construction persons including contacting emergency services such as police, medical or fire. Permittee will contact and advise the City of Port St. Joe of the situation and take any and all remedial actions in addition to those required by the Public Works Department, call 850-229-8247. After normal business hours call 911.
8. Prior to any construction, a 24-7 emergency phone number shall be provided to the City and/or placed at the work site and shall be visible from a public access point, Permittee agrees to obtain all required approvals, agreements and/or permits relative to the type and location of the proposed work from all Federal, State, County, City, real property owner and any other Regulatory Agency or Department. The Permittee, Owner, Agent or Contractor must obtain a Federal NPDES Permit if the proposed construction disturbs (one) 1 acre or more total land area.
9. Any work that commences without all required State, Regional or Local Permits available on the job site or without establishing: 1) the actual location of existing utilities; 2) safety measures; 3) without coordination by the Permittee relative to emergency situations, shall be immediately suspended until all requirements have been met and penalty fees, if any, are paid. The penalty fee for work that commences without a Permit shall be no less than the Permit fee for each occurrence. Additionally, failure to obtain a Permit may result in a case being filed with the Code Enforcement Department of The City of Port St. Joe or other appropriate actions in accordance with State Law and City Ordinances. In the event this Permit is subject to or issued in conjunction with any other Permit, whether State, Regional or Local, this Permit shall automatically be suspended indefinitely if such other Permit is terminated or suspended.
10. Permittee declares that prior to any construction or excavation, notice as required and as necessary in accordance with sound operating and engineering practices, will be issued to the owners of real property, owners/operators of all existing utilities, facilities or improvements, both underground and aerial.
11. At the request of the City of Port St. Joe, Permittee agrees to submit As-built Engineering Plans within thirty (30) days detailing the location of all construction improvements.

Section V CONTRACTOR AND/OR OWNER/AUTHORIZED AGENT SIGNATURES

I/WE REPRESENT THAT THE ABOVE STATEMENTS AND THE INFORMATION, STATEMENTS AND REPRESENTATIONS ON MATERIALS SUBMITTED HERewith IS TRUE. I/WE ARE PROVIDING THESE MATTERS TO INDUCE THE CITY OF PORT ST JOE TO ISSUE A CONSTRUCTION PERMIT. I/WE AGREE WITH ALL CONDITIONS IMPOSED BY THE CITY OF PORT ST JOE.

**APPLICANT/CONTRACTOR
SIGNATURE** _____

TITLE: _____ **DATE:** ____ - ____ - ____

**OWNER/AUTHORIZED
AGENT SIGNATURE** _____

TITLE: _____ **DATE:** ____ - ____ - ____

Code Enforcement 2017Activity
As of 4/11/2017

	Open	Closed	Total	Increase
Unlawful Accumulation	50	16	66	11
Substandard Structure	11	1	12	
Abandoned Vehicle	4	1	5	
Unlawful Sewer				
Land regulation Violation	1	1	2	1
Business Lic. Violation	0			
Special Master Hearings				
Building Demolition	6	1	7	
Waste Violation	40	65	105	13
Sign Violation		71	71	4
Total	112	156	268	29