

**November 7, 2023
Regular Meeting
12:00 Noon**

**City Commission Chambers
2775 Garrison Avenue
Port St. Joe, Florida**



City of Port St. Joe

Rex Buzzett, Mayor-Commissioner
Eric Langston, Commissioner, Group I
Steve Kerigan, Commissioner, Group II
Brett Lowry, Commissioner, Group III
Scott Hoffman, Commissioner, Group IV

[All persons are invited to attend these meetings. Any person who decides to appeal any decision made by the Commission with respect to any matter considered at said meeting will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The Board of City Commission of the City of Port St. Joe, Florida will not provide a verbatim record of this meeting.]

BOARD OF CITY COMMISSION

Regular Public Meeting

12:00 Noon

November 7, 2023

Call to Order

Consent Agenda

Minutes

- Regular Meeting 10/17/23 Pages 1-10
- Special Meeting 11/7/23 Pages 11-12

Planning Board Recommendations

- Ordinance 606 Land Development Regulations PUD Amendment Pages 13-17
 - 2nd Reading & Adoption
- Ordinance 607 Marina Cottages PUD Pages 18-28
 - St Joe Marina Cottages LLC, Parcel #04594-030R
 - 2nd Reading & Adoption

City

Engineer

- Beacon Hill Sewer
- Downtown Water Line Replacement Phase I
- Madison Street SCOP Grant
- Allen Memorial SCOP Grant- Task Order Pages 29-30
- WW Sprayfield Zone 3 Expansion
- HMGP Grant-Elevation of (12) Lift Stations
- City Complex Conceptual Design
- 10th Street Sports Complex Task Order Page 31
- 2nd Street Parking Conceptual Design Pages 32-33

City

Attorney

- Resolution 2023-12 SRF Lead & Copper Funding Application Pages 34-35

Old Business

- City Projects Pages 36-37
- Legislative Request for Workforce Housing Access Road

New Business

- Change Order #2 CDBG-DR Pages 38-39
- Career Source Gulf Coast Request Pages 40
- Road Paving, Monument Ave.- Mayor Buzzett
- Centennial Bldg. Acoustics- Mayor Buzzett

Public Works

- 20th Street Stormwater Pipe Inspection Quote
- Clifford Sims Park Access Ramp

Pages 41-42
pages 43-45

Surface Water Plant

- Request to Purchase Truck on State Contract
- Request to Bid Rehab of Clarifier's 3 & 4

Pages 46-47
Pages 48-49

Wastewater Plant

- Consent Order

Pages 50-70

Finance Director

- FEMA- Update
- Grants Reimbursement- Update

Code Enforcement

- Update

Police Department

- Request to Award RFP 2023-15, (2) Nissan Pathfinder Rock Creek Vehicles
(Handout, bids close on Friday 11/3)

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City Clerk

- Grants Update
 - Centennial Bldg.
 - Lighthouse Keepers' Quarters
- Christmas Parade
- Planning Board Membership

Pages 72-73
Page 74
Pages 75-77

Page 78

Citizens to be Heard**Discussion Items by Commissioners****Motion to Adjourn**

**MINUTES OF THE REGULAR MEETING OF THE BOARD OF CITY
COMMISSIONERS FOR THE CITY OF PORT ST. JOE, FLORIDA, HELD AT
2775 GARRISON AVENUE, October 17, 2023, at Noon.**

The following were present: Mayor Buzzett, Commissioners, Kerigan, Langston, and Lowry. City Manager Jim Anderson, City Clerk Charlotte Pierce, and City Attorney Clinton McCahill were also present. Commissioner Hoffman was absent.

CONSENT AGENDA

Minutes

A Motion was made by Commissioner Lowry, second by Commissioner Kerigan, to approve the Minutes of the Regular Meeting of October 3, 2023, and the Special Meeting of September 8, 2023. All in favor; Motion carried 4-0.

Attorney McCahill read Form 8 Memorandum of Voting Conflict For County, Municipal, and Other Local Public Officers, as completed by Commissioner Lowry on October 3, 2023, when he abstained from voting on Ordinance 603 Small Scale Map Amendment and Rezoning Request for Parcels # 04855-001, 04855-004R, and 04855-050R Rish Cottages.

Planning Board Recommendation

Public Hearing

No one from the public spoke.

Ordinance 606 Land Development Regulations PUD Amendment, First Reading

A Motion was made by Commissioner Kerigan, second by Commissioner Langston, to have the First Reading of Ordinance 606. Commissioner Lowry stated that he would be abstaining from the vote as he is a business associate of Ralph Rish. All in favor; Motion carried 3-0 with Commissioner Lowry abstaining. Form 8 Memorandum of Voting Conflict For County, Municipal, and Other Local Public Officers, as completed by Commissioner Lowry on October 17, 2023, when he abstained from voting on Ordinance 606 Land Development Regulations PUD Amendment is attached as Exhibit A.

This is amending the LDR requirements for PUD's in the Downtown Marina area.

Attorney McCahill read Ordinance 606 by Title only.

Ordinance 607 Marina Cottages PUD – St. Joe Marina Cottages, LLC, Parcel 04594-030R, First Reading

A Motion was made by Commissioner Kerigan, second by Commissioner Langston, to have the First Reading of Ordinance 607. Commissioner Lowry stated that he would be abstaining from the vote as he has a business relationship with the developer. All in favor; Motion carried 3-0 with Commissioner Lowry abstaining. Form 8 Memorandum of Voting Conflict For County, Municipal, and Other Local Public Officers, as completed by Commissioner Lowry on October 17, 2023, when he abstained from voting on Ordinance 607 Marina Cottages PUD is attached as Exhibit B.

This creates the Marina Cottages PUD.

Attorney McCahill read Ordinance 607 by Title only.

Development Order and Special Exception Request Amos Pittman, 170 MLK, Parcel #05701-000R

A Motion was made by Commissioner Kerigan, second by Commissioner Langston, to approve the Development Order and Special Exception Request. All in favor: Motion carried 4-0.

City Engineer – Josh Baxley

Beacon Hill Sewer

BTC is still waiting on materials for the Low Pressure System.

Downtown Water Line Replacement Phase I

This project is scheduled to start this week.

Madison Street SCOP Grant

Currently, the City is advertising for CEI Services for the project.

Allen Memorial SCOP Grant

A Task Order is needed to begin this project.

Wastewater Sprayfield Zone 3 Expansion

A survey is being scheduled for the property.

HMGP Grant - Elevation of 12 Lift Stations

Dewberry is waiting on a survey and field measurements are being taken of the site.

City Complex Survey and TOPO

This has been completed and a conceptual drawing of the complex is being prepared.

H and H Study Task Order – NOAA Grant

A Motion was made by Commissioner Langston, second by Commissioner Kerigan, to approve a Task Order for this study. All in favor; Motion carried 4-0.

Christy McElroy had several questions about the 10th Street Ball Complex piping.

City Attorney

Ordinance 608 User Fees – First Reading and Request to Advertise

A Motion was made by Commissioner Lowry, second by Commissioner Kerigan, to have the First Reading of Ordinance 608 and approve to advertise the Ordinance. All in favor; Motion carried 4-0.

Attorney McCahill read Ordinance 608 by title only.

This Ordinance covers Credit Card Fees, Meter Fees, and after hour calls when the problem is not on the City's side of the line.

Clare Morris asked if payments could be deducted from customers' accounts and Mr. Anderson responded they could as the City currently accepts ACH payments.

Robert Branch stated he did not feel charging City residents due to calls to the cape was right. Mr. Anderson explained again that a charge would only be made if the problem was on the customer's side of the line.

ESAD Sewer MOU Update

Mayor Buzzett shared that two weeks before closing on the MOU, the City received a 66 page example of what would be needed. These pages were paired down to 23 pages and after reviewing them, Attorney Mccahill asked that another firm review his take on this document. There were 100 pages of attachments, and the firm is still reviewing the documents. Mayor Buzzett expects to have this on the Agenda for the November 7, 2023, Meeting.

Old Business

City Projects

There was no discussion of City Projects by Commissioners.

New Business

RFQ 2023-02 Professional Grant Writing Firm

Mr. Anderson shared that four firms had submitted RFQs and after review, Staff recommends retaining Fred Fox Enterprises.

A Motion was made by Commissioner Langston, second by Commissioner Kerigan, to accept the RFQ of Fred Fox Enterprises. All in favor; Motion carried 4-0.

ACOE Grant Application

A Motion was made by Commissioner Kerigan, second by Commissioner Lowry, for Staff to apply for an ACOE Grant. All in favor; Motion carried 4-0. This would provide for Stormwater Funding after the H and H Study is completed.

Port Authority Membership - Mayor Buzzett

Mayor Buzzett shared that the Port Authority is asking for names to be considered for membership on their Board. If anyone is interested in serving, they should contact the Port St. Joe Port Authority.

Public Works – John Grantland

Sewer Repair Quote for Highway 71

A Motion was made by Commissioner Lowry, second by Commissioner Kerigan, for C. W. Roberts Contracting, Inc., to make Emergency Repairs to the sewer line on the inside lane of Highway 71 between Garrison and Knowles Avenues. All in favor; Motion carried 4-0.

Twentieth Street Stormwater Pipe Inspection Quote

Mayor Buzzett asked that this be Tabled until Commissioner Hoffman is present as this is a concern that he has brought up.

Request to Purchase Two Chevrolet Utility Body Trucks

A Motion was made by Commissioner Kerigan, second by Commissioner Langston, to purchase two Chevrolet Utility Body Trucks on state contract in the amount of \$114,388. All in favor; Motion carried 4-0. This purchase is a budgeted item.

ESAD Sewer Rehab Project

Mr. Grantland provided a list of workers that could be working on the ESAD Sewer Rehab Project and requested that these employees be given a temporary \$2.00 per hour pay increase for the hours they work on this specific project. Time sheets will be kept logging the date and time spent on the rehab.

A Motion was made by Commissioner Kerigan, second by Commissioner Langston, to approve Mr. Grantland's request for a \$2.00 per hour pay increase for the employees listed for the hours they spend working on the project. All in favor; Motion carried 4-0.

Commissioner Langston asked that a ditch area between Battles and Avenue F be looked at. There is an issue with trees there and he feels the St. Joe Company should take care of their property in that area. Mr. Grantland will check on this area.

Surface Water Plant – Larry McClamma

Mr. McClamma shared that the Poly Aluminum Chloride testing is on going, jar tests are looking good, and coming off the Ferri Sulfate would be a cost savings to the City. This could improve the quality of water and help with filters at the Wastewater Treatment Plant.

Wastewater Plant – Kevin Pettis

Mr. Pettis reported that they are in the process of abandoning the well and everything is going well with it. The plant is pushing water and that is doing fine.

Finance Director – Mike Lacour

FEMA Grants Update

Mr. Lacour has received the final notification for reimbursement, the documents have been signed and returned.

Grants Reimbursement Update

He continues to work on the \$100,000 FRDAP Reimbursement and is continually told they are understaffed but working on the reimbursement.

Code Enforcement

Voluntary Demo Requests

309 Avenue A Parcel #06002-000R – Latakka Barnes, Brittany Barnes, Whitnay Barnes, and Shanna Owens

317 Avenue B Parcel #05981-000R – Barbara and Linnette Bailey

A Motion was made by Commissioner Langton, second by Commissioner Lowry, to use City budgeted funds for the demolition of both structures. All in favor; Motion carried 4-0. The County will be contacted to see if they will help with the demolition and tipping fees. The properties will have a Lien placed on them to recover the City expenses.

Police Department – Chief Richards

Christmas Parade Route

Chief Richards asked for Commission approval to reroute the Christmas Parade. He feels the new route would be safer, reduce parking issues, and make a more enjoyable parade. The parade would be on Highway 98, begin at Eighth Street, go to First Street, meander through the waterfront area and back to Eighth Street. The parade will begin at 6 P.M. and conclude by 7:30 P.M.

A Motion was made by Commissioner Lowry, second by Commissioner Kerigan, to reroute the parade. All in favor; Motion carried 4-0.

City Clerk – Charlotte Pierce

Grants Update

Clerk Pierce shared that City Staff continues to work with grant providers, compile monthly and quarterly reports, and review opportunities for new grants.

Ghosts on the Coast

Clerk Pierce reminded the Commission that the Gulf County Chamber of Commerce will be handling the judging of costumes again this year and noted that trophies for the winners will be provided by Chris Karagiannis of Monolith.

Citizens to be Heard

Chester Davis invited the Commission and public to a meeting on October 26, 2023, from 4 P.M. to 6:00 P.M. concerning renovations to the Washington Gym.

Mr. Davis provided a copy of the Gulf County Citizens' Coalition for a Healthy Future Mission Statement to the Commission.

He also asked about the possibility of a dumpster for the apartments near the church property as trash from the apartments continues to be an issue.

Mr. Anderson will talk with the owner of the apartments to see if something can be resolved concerning this.

Clare Morris asked for information concerning Commissioner Hoffman's previous statement about the ball fields.

Mayor Buzzett responded that the City does not have a Task Order for the project which could take a while to receive. When information is available, it will be shared.

Robert Branch shared his concerns about the 10th Street Ball Complex, and provided copies of City documents he felt were relevant to the issue.

Christy McElroy voiced her concerns about the sports complex, 10th Street Ball Complex, and funding for these projects.

Jim Martin made the Commission aware of his concerns about safety, parking for the 10th Street Ball Complex, and the County not helping with building the Field of Dreams.

Dan Doty, asked if the Commission would reverse their vote on the renovations to the 10th Street Ball Complex and go forward with the Field of Dreams.

Mayor Buzzett noted that Commissioner Hoffman made the motion, and he is the one that would need to rescind his motion before a vote could be made.

Mr. Doty questioned why Commissioner Hoffman was not at the meeting because it was a scheduled meeting that he knew about it in advance. Mayor Buzzett shared the Commissioner Hoffman was on vacation.

Discussion Items by Commissioners

Neither Commissioners Lowry nor Kerigan had anything additional to discuss with the Commission.

Commissioner Langston asked about the possibility of extending the walking path across Highway 71.

Mr. Anderson responded that the adjoining property is privately owned, and it would require an agreement with the property owner.

Mayor Buzzett stated he was aware of the concerns about the 10th Street Ball Complex and the Field of Dreams.

Motion to Adjourn

There was no other business to come before the Commission, and Mayor Buzzett adjourned the meeting at 1:30 P.M.

Approved this _____ day of _____ 2023.

Rex Buzzett, Mayor

Date

Charlotte M. Pierce, City Clerk

Date

FORM 8B MEMORANDUM OF VOTING CONFLICT FOR COUNTY, MUNICIPAL, AND OTHER LOCAL PUBLIC OFFICERS

LAST NAME—FIRST NAME—MIDDLE NAME <i>Lowry, Brett Charles</i>		NAME OF BOARD, COUNCIL, COMMISSION, AUTHORITY, OR COMMITTEE Port St. Joe Board of City Commissioners	
MAILING ADDRESS <i>134 Gulf Coast Circle</i>		THE BOARD, COUNCIL, COMMISSION, AUTHORITY OR COMMITTEE ON WHICH I SERVE IS A UNIT OF:	
CITY Port St. Joe, FL 32456		<input checked="" type="checkbox"/> CITY <input type="checkbox"/> COUNTY <input type="checkbox"/> OTHER LOCAL AGENCY	
COUNTY Gulf		NAME OF POLITICAL SUBDIVISION: City of Port St. Joe	
DATE ON WHICH VOTE OCCURRED <i>Oct 17th 2023</i>		MY POSITION IS: <input checked="" type="checkbox"/> ELECTIVE <input type="checkbox"/> APPOINTIVE	

WHO MUST FILE FORM 8B

This form is for use by any person serving at the county, city, or other local level of government on an appointed or elected board, council, commission, authority, or committee. It applies to members of advisory and non-advisory bodies who are presented with a voting conflict of interest under Section 112.3143, Florida Statutes.

Your responsibilities under the law when faced with voting on a measure in which you have a conflict of interest will vary greatly depending on whether you hold an elective or appointive position. For this reason, please pay close attention to the instructions on this form before completing and filing the form.

INSTRUCTIONS FOR COMPLIANCE WITH SECTION 112.3143, FLORIDA STATUTES

A person holding elective or appointive county, municipal, or other local public office **MUST ABSTAIN** from voting on a measure which would inure to his or her special private gain or loss. Each elected or appointed local officer also **MUST ABSTAIN** from knowingly voting on a measure which would inure to the special gain or loss of a principal (other than a government agency) by whom he or she is retained (including the parent, subsidiary, or sibling organization of a principal by which he or she is retained); to the special private gain or loss of a relative; or to the special private gain or loss of a business associate. Commissioners of community redevelopment agencies (CRAs) under Sec. 163.356 or 163.357, F.S., and officers of independent special tax districts elected on a one-acre, one-vote basis are not prohibited from voting in that capacity.

For purposes of this law, a "relative" includes only the officer's father, mother, son, daughter, husband, wife, brother, sister, father-in-law, mother-in-law, son-in-law, and daughter-in-law. A "business associate" means any person or entity engaged in or carrying on a business enterprise with the officer as a partner, joint venturer, coowner of property, or corporate shareholder (where the shares of the corporation are not listed on any national or regional stock exchange).

ELECTED OFFICERS:

In addition to abstaining from voting in the situations described above, you must disclose the conflict:

PRIOR TO THE VOTE BEING TAKEN by publicly stating to the assembly the nature of your interest in the measure on which you are abstaining from voting; *and*

WITHIN 15 DAYS AFTER THE VOTE OCCURS by completing and filing this form with the person responsible for recording the minutes of the meeting, who should incorporate the form in the minutes.

APPOINTED OFFICERS:

Although you must abstain from voting in the situations described above, you are not prohibited by Section 112.3143 from otherwise participating in these matters. However, you must disclose the nature of the conflict before making any attempt to influence the decision, whether orally or in writing and whether made by you or at your direction.

IF YOU INTEND TO MAKE ANY ATTEMPT TO INFLUENCE THE DECISION PRIOR TO THE MEETING AT WHICH THE VOTE WILL BE TAKEN:

- You must complete and file this form (before making any attempt to influence the decision) with the person responsible for recording the minutes of the meeting, who will incorporate the form in the minutes. (Continued on page 2)

APPOINTED OFFICERS (continued)

- A copy of the form must be provided immediately to the other members of the agency.
- The form must be read publicly at the next meeting after the form is filed.

IF YOU MAKE NO ATTEMPT TO INFLUENCE THE DECISION EXCEPT BY DISCUSSION AT THE MEETING:

- You must disclose orally the nature of your conflict in the measure before participating.
- You must complete the form and file it within 15 days after the vote occurs with the person responsible for recording the minutes of the meeting, who must incorporate the form in the minutes. A copy of the form must be provided immediately to the other members of the agency, and the form must be read publicly at the next meeting after the form is filed.

DISCLOSURE OF LOCAL OFFICER'S INTEREST

I, Brett C. Lavery, hereby disclose that on Oct 17th, 2023:

(a) A measure came or will come before my agency which (check one or more)

- ☐ inured to my special private gain or loss;
- ☒ inured to the special gain or loss of my business associate, Ralph Bish;
- ☐ inured to the special gain or loss of my relative, _____;
- ☐ inured to the special gain or loss of _____, by whom I am retained; or
- ☐ inured to the special gain or loss of _____, which is the parent subsidiary, or sibling organization or subsidiary of a principal which has retained me.

(b) The measure before my agency and the nature of my conflicting interest in the measure is as follows:

If disclosure of specific information would violate confidentiality or privilege pursuant to law or rules governing attorneys, a public officer, who is also an attorney, may comply with the disclosure requirements of this section by disclosing the nature of the interest in such a way as to provide the public with notice of the conflict.

Oct 17th 2023
Date Filed

BCL
Signature

NOTICE: UNDER PROVISIONS OF FLORIDA STATUTES §112.317, A FAILURE TO MAKE ANY REQUIRED DISCLOSURE CONSTITUTES GROUNDS FOR AND MAY BE PUNISHED BY ONE OR MORE OF THE FOLLOWING: IMPEACHMENT, REMOVAL OR SUSPENSION FROM OFFICE OR EMPLOYMENT, DEMOTION, REDUCTION IN SALARY, REPRIMAND, OR A CIVIL PENALTY NOT TO EXCEED \$10,000.

FORM 8B MEMORANDUM OF VOTING CONFLICT FOR COUNTY, MUNICIPAL, AND OTHER LOCAL PUBLIC OFFICERS

LAST NAME—FIRST NAME—MIDDLE NAME Lowsry, Brett Charles		NAME OF BOARD, COUNCIL, COMMISSION, AUTHORITY, OR COMMITTEE Port St. Joe Board of City Commissioners	
MAILING ADDRESS 134 Gulf Coast Circle		THE BOARD, COUNCIL, COMMISSION, AUTHORITY OR COMMITTEE ON WHICH I SERVE IS A UNIT OF:	
CITY Port St. Joe, FL 32456	COUNTY Gulf	<input checked="" type="checkbox"/> CITY <input type="checkbox"/> COUNTY <input type="checkbox"/> OTHER LOCAL AGENCY	
DATE ON WHICH VOTE OCCURRED 10/17/2023		NAME OF POLITICAL SUBDIVISION: City of Port St. Joe	
		MY POSITION IS: <input checked="" type="checkbox"/> ELECTIVE <input type="checkbox"/> APPOINTIVE	

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For purposes of this law, a "relative" includes only the officer's father, mother, son, daughter, husband, wife, brother, sister, father-in-law, mother-in-law, son-in-law, and daughter-in-law. A "business associate" means any person or entity engaged in or carrying on a business enterprise with the officer as a partner, joint venturer, coowner of property, or corporate shareholder (where the shares of the corporation are not listed on any national or regional stock exchange).

* * * * *

ELECTED OFFICERS:

In addition to abstaining from voting in the situations described above, you must disclose the conflict:

PRIOR TO THE VOTE BEING TAKEN by publicly stating to the assembly the nature of your interest in the measure on which you are abstaining from voting; *and*

WITHIN 15 DAYS AFTER THE VOTE OCCURS by completing and filing this form with the person responsible for recording the minutes of the meeting, who should incorporate the form in the minutes.

* * * * *

APPOINTED OFFICERS:

Although you must abstain from voting in the situations described above, you are not prohibited by Section 112.3143 from otherwise participating in these matters. However, you must disclose the nature of the conflict before making any attempt to influence the decision, whether orally or in writing and whether made by you or at your direction.

IF YOU INTEND TO MAKE ANY ATTEMPT TO INFLUENCE THE DECISION PRIOR TO THE MEETING AT WHICH THE VOTE WILL BE TAKEN:

- You must complete and file this form (before making any attempt to influence the decision) with the person responsible for recording the minutes of the meeting, who will incorporate the form in the minutes. (Continued on page 2)

APPOINTED OFFICERS (continued)

- A copy of the form must be provided immediately to the other members of the agency.
- The form must be read publicly at the next meeting after the form is filed.

IF YOU MAKE NO ATTEMPT TO INFLUENCE THE DECISION EXCEPT BY DISCUSSION AT THE MEETING:

- You must disclose orally the nature of your conflict in the measure before participating.
- You must complete the form and file it within 15 days after the vote occurs with the person responsible for recording the minutes of the meeting, who must incorporate the form in the minutes. A copy of the form must be provided immediately to the other members of the agency, and the form must be read publicly at the next meeting after the form is filed.

DISCLOSURE OF LOCAL OFFICER'S INTEREST

I, Brett C. Lowry, hereby disclose that on Oct 17th, 2023

(a) A measure came or will come before my agency which (check one or more)

- ☒ inured to my special private gain or loss, BL
- ☒ inured to the special gain or loss of my business associate, Ralph Rish
- ☐ inured to the special gain or loss of my relative, _____
- ☐ inured to the special gain or loss of _____, by whom I am retained; or
- ☐ inured to the special gain or loss of _____, which is the parent subsidiary, or sibling organization or subsidiary of a principal which has retained me.

(b) The measure before my agency and the nature of my conflicting interest in the measure is as follows:

I have business relationships with developer.

If disclosure of specific information would violate confidentiality or privilege pursuant to law or rules governing attorneys, a public officer, who is also an attorney, may comply with the disclosure requirements of this section by disclosing the nature of the interest in such a way as to provide the public with notice of the conflict.

Date Filed

10/17/2023

Signature

B. Lowry

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**MINUTES OF THE SPECIAL MEETING OF THE BOARD OF CITY
COMMISSIONERS FOR THE CITY OF PORT ST. JOE, FLORIDA, HELD AT
2775 GARRISON AVENUE, October 30, 2023, at Noon WITH A CONTINUATION
UNTIL 5:00 P.M., OCTOBER 30, 2023.**

The following were present: Mayor Buzzett, Commissioners Hoffman, Kerigan, Langston, and Lowry. City Manager Jim Anderson, City Clerk Charlotte Pierce, Attorney Clinton McCahill, and Finance Director Mike Lacour were also present.

CONSENT AGENDA

County Grant Agreement Request Update

The purpose of the meeting was to discuss the County Grant Agreement Request that involves reimbursement of funds to the County for the purchase of the ESAD Sewer System.

Attorney McCahill reviewed the events that have taken place since the inception of this project.

Commissioner Hoffman asked if the City would be able to comply with the requirements. Attorney McCahill replied that the City could not as funds had already been expended to purchase materials, work was done by City employees, and by signing the sub-grant knowing we could not comply would be considered fraud.

Gulf County Attorney Jeremy Novak stressed his points of concern.

Amendments to the Memorandum of Understanding were presented by Attorney McCahill and Attorney Novak.

At 12:30 P.M., Mayor Buzzett asked for a continuation of the meeting until 5:00 P.M. today for everyone to review the amendments.

5:00 P.M. Mayor Buzzett resumed the meeting with the following present. Mayor Buzzett, Commissioners Hoffman, Kerigan, Langston, and Lowry. City Manager Jim Anderson, City Clerk Charlotte Pierce, Attorney Clinton McCahill, and Finance Director Mike Lacour.

Attorney McCahill shared that the City's Amendment to the Memorandum of Understanding was a stronger document for the City. He recommended that if the County would accept the City's version of the Amendment, the City would sign the Sub agreement as is.

Commissioner Lowry had questions about Item I, and stated that he had talked with County Administrator Michael Hammond concerning the statement about the City's lack of performance and clawbacks.

Attorney Novak joined the meeting at 5:05 P.M.

Mayor Buzzett brought Attorney Novak up to speed on what had been shared prior to his arrival.

Attorney Novak referenced the Amendment that he had prepared, stating the City needs to sign the subrecipient grant, that it would be a step back if the City failed to sign the agreement and meet the October 31, 2023, deadline.

Attorney Novak shared that he had stricken references to clawbacks and indemnification statements. Mr. Novak stated that the County cannot accept the MOU or 14 additional WHEREAS as presented by Attorney McCahill.

Mayor Buzzett stated that he felt the Amendment from Attorney McCahill offered more protection for the City.

Attorney Novak again shared that the 14 WHEREAS statements from Attorney McCahill had meaning, he did not feel they were necessary, and the Commission needed to look at the letter to Attorney McCahill and Mr. Anderson.

Attorney Novak stated that if there was no agreement by the City, the County would consider it a Breech of the MOU, all Easements, access to Beacon Hill Park, and Gulf County Beaches Customers would be gone, and the county would immediately issue a Cease and Desist Order prohibiting the City from having access to any of their customers along the beaches right of way.

A Motion was made by Commissioner Lowry, second by Commissioner Hoffman, to sign the sub-agreement with modifications presented, and provide the authority for Mayor Buzzett to sign the subgrant agreement. All in favor; Motion carried 5-0.

Mayor Buzzett thanked Attorney McCahill for all of his hard work on this and stated that he hoped for the best results from this.

Motion to Adjourn

There being no further business to come before the Commission, Mayor Buzzett adjourned the Meeting at 5:42 P.M.

Approved this _____ day of _____ 2023.

Rex Buzzett, Mayor

Date

Charlotte M. Pierce, City Clerk

Date

ORDINANCE NO. 606

AN ORDINANCE AMENDING THE LAND DEVELOPMENT REGULATIONS OF THE CITY OF PORT ST. JOE, SPECIFICALLY CITY-INITIATED TEXT AMENDMENT TO (1) ESTABLISHED A DEFINITION FOR DOWNTOWN MARINA AREA, (2) TO AMEND THE PLANNED UNIT DEVELOPMENT STANDARDS; PROVIDING FOR REPEAL OF ANY CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Port St. Joe City Commission has adopted the Comprehensive Plan within which are included goals, objectives, and policies related to the adoption of land development regulations; and

WHEREAS, Chapter 163, Part II, Section 3201, the Florida Statutes, requires the implementation of these goals, objectives, and policies through the adoption of consistent land development regulations; and

WHEREAS, Chapter 163, Part II, Section 3202, of the Florida Statutes requires each county and municipality to adopt or amend and enforce land development regulations that are consistent with and implement the adopted comprehensive plan within one (1) year after submission of the revised comprehensive plan for review to the state; and

WHEREAS, the Planning and Development and Review Board in its capacity as the Local Planning Agency, considered this request, found it consistent with the goals, objectives and policies of the local Comprehensive Plan, and recommended approval at a properly advertised public hearing on October 3, 2023;

NOW THEREFORE, IT BE ORDAINED by the City Commission of the City of Port St. Joe, Florida, amends the Land Development Regulations as follows:

Section 1. The following Sections of the Land Development Regulations are to be amended:

ARTICLE I. GENERAL PROVISIONS:

Section 1.03. Definitions.

And;

ARTICLE III. LAND USE: TYPE, DENSITY, INTENSITY:

Section 3.17(4)c. Planned Unit Development (PUD).

(See Exhibit A for the Proposed Text Amendment and Exhibit B for the Proposed Boundary of the Downtown Marina Area)

Section 2. Upon this Ordinance becoming effective, the City of Port St. Joe Land Development Regulations shall be amended to reflect the text amendments to ARTICLE I. GENERAL PROVISIONS and ARTICLE III. LAND USE: TYPE, DENSITY, INTENSITY as described on attached Exhibit "A".

Section 3. The provisions of the Ordinance are hereby declared to be severable. If any revision of this Ordinance, or the application thereof, to any person or circumstance is held to be invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid provision or application.

Section 4. This Ordinance shall become effective as provided by law.

This Ordinance was adopted in open regular meeting after its second reading

this _____, after due notice in accordance with Florida Law.

ATTEST: BOARD OF CITY COMMISSIONERS OF PORT ST. JOE, FLORIDA

Charlotte M. Pierce, City Clerk

Rex Buzzett, Mayor

APPROVED AS TO FORM:

Clinton McCahill, City Attorney

EXHIBIT A

Land Development Regulations, Part III

ARTICLE I. GENERAL PROVISIONS:

Section 1.03. Definitions.

Downtown Marina Area: An area that is bounded to the north by Marina Drive from the intersection of Baltzell Avenue to the Mean Sea Level of St. Joe Bay, bounded to the east by Baltzell Avenue from the intersection of Marina Avenue to the intersection of Harborview Drive, bounded to the south by Harborview Drive from the intersection of Baltzell Avenue extended to the Mean Sea Level of St. Joe Bay and bounded along the west by the Mean Sea Level of St. Joe Bay.

And;

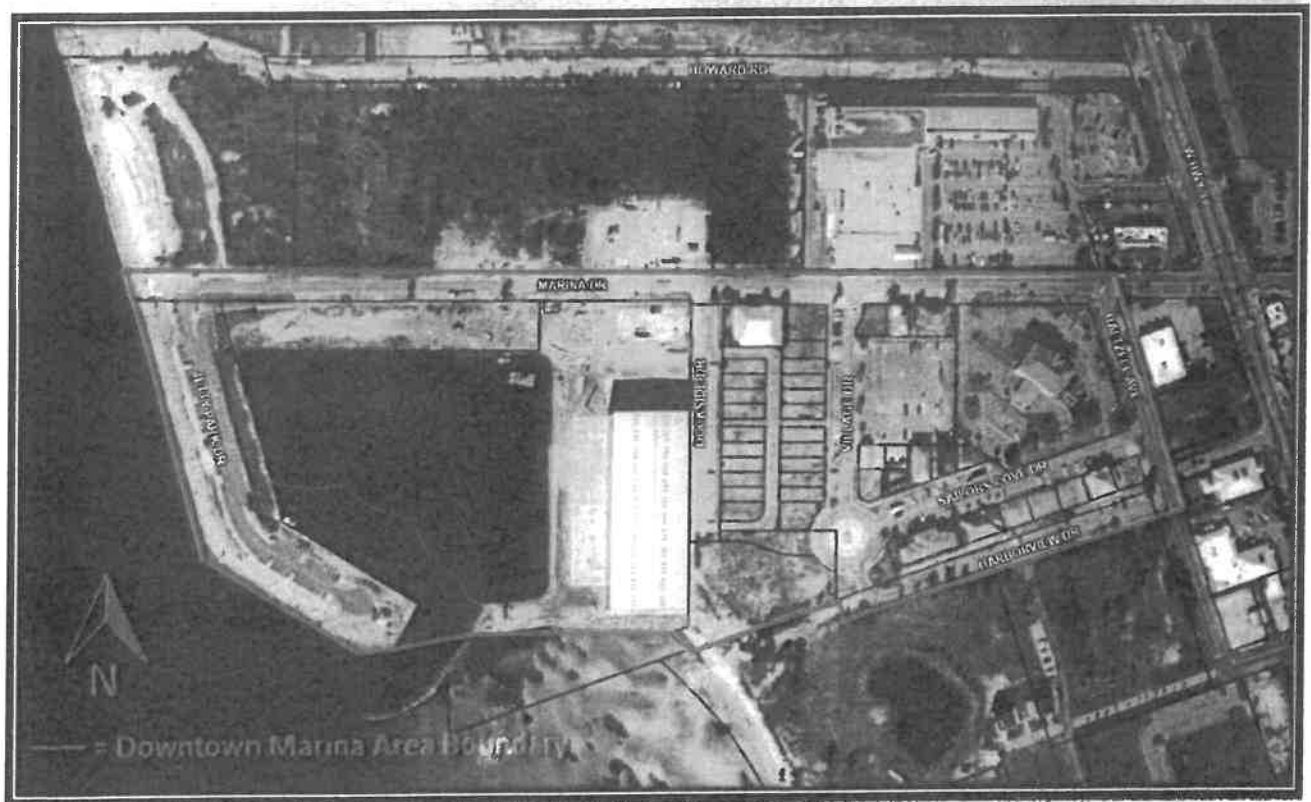
Article III. Land Use: Type, Density, Intensity

Section 3.17: Planned Unit Development district

Section 3.17(4)c:

- c. A minimum site size of five acres is required unless the site is located within a the Expanded Boundary of the Port St Joe Redevelopment Area, or the North Port St. Joe Mixed Use Overlay District or the Downtown Marina Area whereupon only one acre is required.

Downtown Marina Area



NOTICE OF PUBLIC HEARINGS FOR A TEXT AND ZONING AMENDMENT TO THE CITY OF PORT ST. JOE LAND DEVELOPMENT REGULATIONS AND ZONING MAP

Public Hearing of the City of Port St. Joe Planning and Development Review Board and City Commission

The Planning and Development Review Board sitting as the local planning agency will hold a hearing at 4:00 p.m., EST, at 2775 Garrison Avenue, Port St. Joe, Florida, on Tuesday, October 3, 2023, or as soon thereafter as the issue may be heard. The purpose of the Public Hearing will be to consider a recommendation to the Port St. Joe City Commissioners for the adoption of a Text Amendment to the Land Development Regulations by Ordinance NO. 606 relating thereto, the title of which is set forth below and an amendment to the Zoning Map to establish a Marina Cottages Planned Unit Development District by Ordinance NO. 607 relating thereto, the title of which is set forth below.

The City of Port St. Joe City Commission will conduct a Public Hearing, hold the first reading of Ordinance NO. 606 and Ordinance NO. 607, the titles of which are set forth below, at 2775 Garrison Avenue, Port St. Joe, Florida on Tuesday, October 17, 2023, at 12:00 p.m., EST, or as soon thereafter as the issue may be heard. The purpose of the Public Hearing will be to consider and conduct the first reading of an ordinance amending the Text of the Land Development Regulations and to consider and conduct the first reading of an ordinance establishing a Marina Cottages Planned Unit Development District. The title of the ordinances to be considered are set forth below.

The City of Port St. Joe City Commission will conduct a Public Hearing and hold the final reading of Ordinance 606, the title of which are set forth below, at 2775 Garrison Avenue, Port St. Joe, Florida, on Tuesday, November 7, 2023, at 12:00 p.m. EST, or as soon thereafter as the issue may be heard. The purpose of the Public Hearing will be to consider and conduct the final reading of an ordinance amending the Text of the Land Development Regulations and to consider and conduct the final reading of an ordinance establishing a Marina Cottages Planned Unit Development District. The title of the ordinances to be considered are set forth below.

ORDINANCE NO. 606

AN ORDINANCE AMENDING THE LAND DEVELOPMENT REGULATIONS OF THE CITY OF PORT ST. JOE, SPECIFICALLY CITY-INITIATED TEXT AMENDMENT TO (1) ESTABLISHED A DEFINITION FOR DOWNTOWN MARINA AREA, (2) TO AMEND THE PLANNED UNIT DEVELOPMENT STANDARDS; PROVIDING FOR REPEAL OF ANY CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

And;

ORDINANCE NO. 607

AN ORDINANCE OF THE CITY OF PORT ST. JOE, FLORIDA, RELATING TO AND AMENDING THE ZONING CODE; AMENDING THE CITY OF PORT ST. JOE ZONING MAP; DESIGNATING AND ESTABLISHING THE MARINA COTTAGES PLANNED UNIT DEVELOPMENT ZONING DISTRICT; ADOPTING CERTAIN REGULATORY REQUIREMENTS FOR THE MARINA COTTAGES PLANNED UNIT DEVELOPMENT ZONING DISTRICT TO SUPERSEDE REQUIREMENTS IN THE CITY OF PORT ST. JOE ZONING CODE; PROVIDING FOR REPEAL OF ANY CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.



Copies of the Text Amendment to the Land Development Regulations and the Marina Cottages Planned Unit Development District is available for public inspection at the City of Port St. Joe City Hall, located at 305 Cecil G. Costin, Sr., Blvd., Port St. Joe, Florida.

The hearing may be continued from time to time as may be necessary.

Interested persons may attend and be heard at the public hearing or provide comments in writing to the City Commissioners. Comments can be mailed to the City of Port St. Joe, City Hall, 305 Cecil G. Costin, Sr., Blvd., Port St. Joe, Florida. Transactions of the public hearing will not be recorded. Persons wishing to appeal any decision made during the hearing will need a record of the proceeding and should ensure a verbatim record is made, including the testimony on which the appeal is based.

Any person requiring special accommodation at this hearing because of a disability or physical impairment should contact the City Clerk's Office at (850) 229-8261, at least five (5) calendar days prior to the hearing.

**CITY COMMISSION OF THE CITY
OF PORT ST. JOE, FLORIDA**

ORDINANCE NO. 607

AN ORDINANCE OF THE CITY OF PORT ST. JOE, FLORIDA, RELATING TO AND AMENDING THE ZONING CODE; AMENDING THE CITY OF PORT ST. JOE ZONING MAP; DESIGNATING AND ESTABLISHING THE MARINA COTTAGES PLANNED UNIT DEVELOPMENT ZONING DISTRICT; ADOPTING CERTAIN REGULATORY REQUIREMENTS FOR THE MARINA COTTAGES PLANNED UNIT DEVELOPMENT ZONING DISTRICT TO SUPERSEDE REQUIREMENTS IN THE CITY OF PORT ST. JOE ZONING CODE; PROVIDING FOR REPEAL OF ANY CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, The City of Port St. Joe ("City") has deemed it appropriate to establish a planned unit development for a community ("Marina Cottages Planned Unit Development Zoning District") to be located on a parcel of land which is legally described in Exhibit "A", attached and incorporated herein ("Property"); and

WHEREAS, on October 3, 2023, the Planning and Development Review Board for the City, recommended approval of the Marina Cottages Planned Unit Development Zoning District; and

WHEREAS, The Marina Cottages Planned Unit Development Zoning District is intended to consist of a residential development that includes recreational amenities such as a club house and swimming pool; and

WHEREAS, The Marina Cottages Planned Unit Development Zoning District will be served by City water and sewer facilities; and

WHEREAS, The Marina Cottages Planned Unit Development Zoning District will comply with the all applicable stormwater management requirements for the Property; and

NOW THEREFORE BE IT ORDAINED BY THE BOARD OF CITY COMMISSIONERS OF THE CITY OF PORT ST. JOE, FLORIDA:

SECTION 1. NAME

This Ordinance shall be known as the implementing ordinance for the Marina Cottages Planned Unit Development Zoning District.

SECTION 2. CONSISTENCY WITH CITY OF PORT ST. JOE COMPREHENSIVE PLAN

The Board of City Commissioners hereby finds and determines that the Marina Cottages Planned Unit Development Zoning District is consistent with the goals, objectives, and

policies of the City of Port St. Joe Comprehensive Plan, including but not limited to Future Land Use Element Policy 1.3.4, High Density Residential R-3.

SECTION 3. APPROVAL

The establishment of the Marina Cottages Planned Development Zoning District on the lands legally described in Exhibit "A", which is attached hereto and incorporated herein by this reference, is hereby approved subject to the conditions in this Ordinance.

SECTION 4. PERMITTED USES

The following uses shall be principal permitted uses within all areas of the Marina Cottages Planned Unit Development (PUD) Zoning District:

- A. Residential. Single family and multi-family residential units. Density shall not exceed fifteen (15) units.
- B. Recreation. Active recreation means recreational lands and improvements that are facility oriented which may require equipment and take place at prescribed places, or sites, which may include a club house, changing rooms/restrooms and pool. Passive recreation means recreational lands and improvements that are natural resource oriented. Passive recreational facilities may include, but are not limited to walking and nature trails, viewing platforms, boardwalks, picnic areas and bird watching.
- C. Permitted Accessory and Ancillary Uses. The following shall be accessory permitted uses within all areas of the Marina Cottages Planned Unit Development Zoning District: Uses of land customarily incidental and subordinate to one of the permitted principal uses, including but not limited to a sales center, parking facilities, mail kiosk, trash and recycling containers and other uses or facilities associated with the support of the permitted principal uses.

SECTION 5. DEVELOPMENT STANDARDS

- A. All residential uses shall be served by central potable water facilities and central wastewater facilities, as provided by the City.
- B. All development within the Marina Cottages Planned Unit Development Zoning District shall be in compliance with all applicable land development regulations of the City of Port St. Joe, except as otherwise contained in this Ordinance.
- C. The minimum setbacks for residential units shall be as follows:
 - Front Setback: Zero (0) Feet
 - Side Setback: Zero (0) Feet (Six (6) feet between buildings)
 - Rear Setback: Zero (0) Feet

- D. There shall be a minimum lot width of twenty-two (22) feet and minimum lot depth of fifty (50) feet.
- E. There shall be a minimum lot size of 1,100 square feet and a minimum square feet of living area of 650 square feet.
- F. Maximum overall impervious coverage of the entire site shall be 80%.
- G. Sidewalks will have a minimum width of four (4) feet and will provide access to all residential lots, parking areas and amenity areas. The sidewalks may be of an impervious or pervious surface material.
- H. A minimum of 24 parking spaces will be provided, which will include at least 2 handicap parking spaces.
- I. The developer will construct all residential lots, sidewalks, connecting road, parking area, which may include offsite overflow parking areas and the amenity area as one (1) single phase, as depicted on the Marina Cottages PUD Master Plan in Exhibit "B".
- J. The developer will create and establish the Marina Cottages Homeowners Association (HOA). The HOA will be responsible for maintaining the sidewalks, parking areas, including any offsite and the amenity areas as depicted on the Marina Cottages PUD Master Plan in Exhibit "B".
- K. Signs visible from a public road, which are not otherwise subject to stricter standards imposed on the property, shall be consistent with applicable City regulations.
- L. Section 5.04 of the Land Development Regulations, as well as any other provisions with respect to buffer zones shall not apply to any portion of the Marina Cottages Planned Unit Development Zoning District.
- M. All construction shall meet the standards in the Florida Building Code, latest edition.

SECTION 6. DEVELOPMENT PLAN/PLAT PHASING

The Marina Cottages Planned Unit Development Zoning District Subdivision will be developed as one (1) phase, with the submission of development plan and preliminary plat. All development plans will be reviewed as a Level 2 Major Development as such term is defined in the Code. The City will review the preliminary plat as part of the development review process. The development plan, preliminary plat and appropriate application fees shall be initially submitted to the City for review. The applicant may obtain simultaneous approval of the preliminary plat, development order and development permit approval with respect to the development.

SECTION 7. CREATION OF ZONING DISTRICT

The purpose of this Ordinance is to create the text of the Marina Cottages Planned Unit Development Zoning District. The precise location of the permitted uses will be set forth in the application for development plan and preliminary plat approval. This Ordinance is not intended as a unified plan of development.

SECTION 8. ENFORCEMENT

The City may enforce this Ordinance as authorized by law.

SECTION 9. OTHER ORDINANCES

Except as specifically modified or changed in this Ordinance, all provisions of the Code shall apply in the same manner as throughout the City.

SECTION 10. ZONING MAP

Upon this Ordinance becoming effective, the City of Port St. Joe Zoning Map shall be amended to show the property described on attached Exhibit "A" as the Marina Cottages Planned Unit Development Zoning District.

SECTION 11. SEVERABILITY

The provisions of the Ordinance are hereby declared to be severable. If any revision of this Ordinance, or the application thereof, to any person or circumstance is held to be invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid provision or application.

SECTION 12. EFFECTIVE DATE

This Ordinance shall become effective as provided by law.

This Ordinance was adopted in open regular meeting after its second reading this _____, after due notice in accordance with Florida Law.

ATTEST:

BOARD OF CITY COMMISSIONERS
OF PORT ST. JOE, FLORIDA

Charlotte M. Pierce, City Clerk

Rex Buzzett, Mayor

APPROVED AS TO FORM:

Clinton McCahill, City Attorney

EXHIBIT "A"

GULF COUNTY PARCEL ID: 04594-030R:

A PARCEL OF LAND IN SECTION 2, TOWNSHIP 8 SOUTH, RANGE 11 WEST, LYING AND BEING SITUATE IN GULF COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCE AT THE POINT OF INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY LINE OF FOURTH STREET (60 FOOT RIGHT OF WAY) WITH THE SOUTHWESTERLY RIGHT OF WAY LINE OF BALTZELL AVENUE (60 FOOT RIGHT OF WAY) AND RUN THENCE NORTH 18 DEGREES 46 MINUTES 49 SECONDS WEST ALONG THE SAID SOUTHWESTERLY RIGHT OF WAY LINE OF BALTZELL AVENUE FOR 780.00 FEET TO A FOUND SIX INCH BY SIX INCH CONCRETE MONUMENT (NO IDENTIFICATION); THENCE CONTINUE NORTH 18 DEGREES 46 MINUTES 49 SECONDS WEST ALONG SAID RIGHT OF WAY LINE FOR 407.74 FEET TO A FOUND SIX INCH BY SIX INCH CONCRETE MONUMENT MARKING THE INTERSECTION OF THE SAID SOUTHWESTERLY BOUNDARY OF BALTZELL AVENUE WITH THE SOUTH RIGHT OF WAY LINE OF MARINA DRIVE (60 FOOT RIGHT OF WAY); THENCE NORTH 89 DEGREES 37 MINUTES 38 SECONDS WEST ALONG SAID SOUTH RIGHT OF WAY LINE FOR 731.95 FEET TO THE NORTHWEST CORNER OF VILLAGE AT MARINA COVE, A SUBDIVISION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 48 OF THE PUBLIC RECORDS OF GULF COUNTY, FLORIDA; THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE RUN SOUTH 00 DEGREES 21 MINUTES 19 SECONDS WEST, ALONG THE WEST BOUNDARY OF SAID VILLAGE AT MARINA COVE AND A PROJECTION THEREOF, FOR A DISTANCE OF 484.46 FEET TO THE SOUTH BOUNDARY LINE OF PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 486, PAGE 580 OF THE PUBLIC RECORDS OF GULF COUNTY, FLORIDA (AREA B) FOR THE POINT OF BEGINNING; THENCE LEAVING SAID PROJECTION RUN EASTERLY ALONG SAID SOUTH BOUNDARY AS FOLLOWS: SOUTH 89 DEGREES 32 MINUTES 31 SECONDS EAST, FOR A DISTANCE OF 29.39 FEET TO A POINT OF CURVE TO THE RIGHT; THENCE ALONG SAID CURVE WITH A RADIUS OF 137.00 FEET, THROUGH A CENTRAL ANGLE OF 22 DEGREES 22 MINUTES 48 SECONDS, FOR AN ARC DISTANCE OF 53.51 FEET (CHORD OF SAID ARC BEING SOUTH 78 DEGREES 21 MINUTES 07 SECONDS EAST, 53.17 FEET); THENCE SOUTH 67 DEGREES 09 MINUTES 43 SECONDS EAST, FOR A DISTANCE OF 14.19 FEET TO A POINT OF CURVE TO THE LEFT; THENCE ALONG SAID CURVE WITH A RADIUS OF 163.00 FEET, THROUGH A CENTRAL ANGLE OF 22 DEGREES 22 MINUTES 48 SECONDS, FOR AN ARC DISTANCE OF 63.67 FEET (CHORD OF SAID ARC BEING SOUTH 78 DEGREES 21 MINUTES 07 SECONDS EAST, 63.26 FEET); THENCE SOUTH 89 DEGREES 32 MINUTES 31 SECONDS EAST, FOR A DISTANCE OF 31.45 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE TO THE NORTHEASTERLY; THENCE LEAVING SAID SOUTH BOUNDARY RUN SOUTHEASTERLY ALONG SAID CURVE WITH A RADIUS OF 78.00 FEET, THROUGH A CENTRAL ANGLE OF 41 DEGREES 33 MINUTES 35 SECONDS, FOR AN ARC DISTANCE OF 56.58 FEET (CHORD OF SAID ARC BEING SOUTH 51 DEGREES 02 MINUTES 11 SECONDS EAST, 55.35 FEET); THENCE SOUTH 00 DEGREES 26 MINUTES 58 SECONDS WEST, FOR A DISTANCE OF 55.78 FEET TO THE NORTHERLY BOUNDARY OF PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 397. PAGE 453 OF THE PUBLIC RECORDS OF GULF COUNTY, FLORIDA;

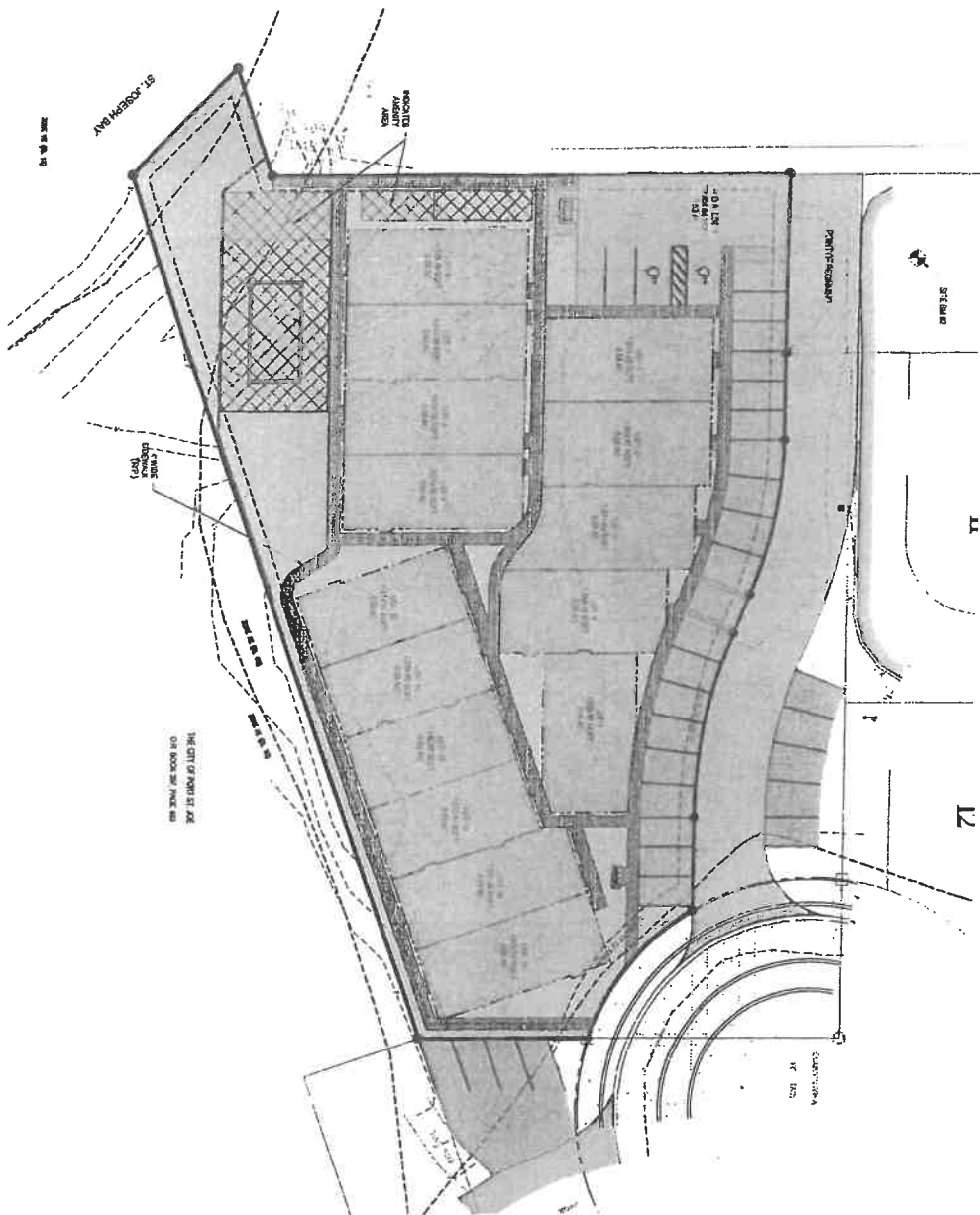
"THENCE SOUTH 71 DEGREES 15 MINUTES 08 SECONDS WEST, ALONG SAID NORTHERLY BOUNDARY, FOR A DISTANCE OF 308.62 FEET TO THE MEAN HIGH WATER LINE OF ST. JOSEPH BAY; THENCE LEAVING SAID NORTHERLY BOUNDARY RUN NORTH 45 DEGREES 10 MINUTES 52 SECONDS WEST, ALONG SAID MEAN HIGH WATER LINE, FOR A DISTANCE OF 50.00 FEET; THENCE LEAVING SAID MEAN HIGH WATER LINE RUN NORTH 71 DEGREES 15 MINUTES 08 SECONDS EAST, FOR A DISTANCE OF 38.11 FEET; THENCE NORTH 00 DEGREES 21 MINUTES 19 SECONDS EAST, FOR A DISTANCE OF 172.27 FEET TO THE SOUTHWEST CORNER OF PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 486. PAGE 580 OF THE PUBLIC RECORDS OF GULF COUNTY, FLORIDA (AREA A); THENCE SOUTH 89 DEGREES 32 MINUTES 31 SECONDS EAST, ALONG THE SOUTH BOUNDARY LINE OF SAID AREA A, FOR A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS OVER THE WEST 40 FEET OF AREA A AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED IN. OFFICIAL RECORDS BOOK 486. PAGE 580, OF THE PUBLIC RECORDS OF GULF COUNTY, FLORIDA.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS OVER THE WEST 40 FEET OF AREA "A" AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 486. PAGE 580, OF THE PUBLIC RECORDS OF GULF COUNTY, FLORIDA.

EXHIBIT "B"

Marina Cottages PUD Master Plan



AREA TABLE			
DEVELOPER RESIDENTIAL AREA			
DEVELOPER H.O.A. AREA			
DEVELOPER OVERLAP PARKING AREA			
ITEM	AREA (SQ FT)	AREA (ACRES)	
RESIDENTIAL AREA	22,177 SQ FT	0.51 ACRES	
H.O.A. AREA	22,044 SQ FT	0.51 ACRES	
OVERLAP PARKING AREA	2,070 SQ FT	0.05 ACRES	

SITE PARKING TABLE		
TYPE	SPACES	PROVIDED
STANDARD PARKING SPACES	22 SPACES	
OVERLAP PARKING SPACES	8 SPACES	
HANDICAP PARKING SPACES	2 SPACES	
TOTAL PARKING SPACES	32 SPACES	



PUD AREAS

MARINA COTTAGES
HARBORVIEW DR
PORT ST. JOE, FLORIDA
(GULF COUNTY PARCEL I.D.: 04594-030R)

PROJECT NUMBER: N/A		REVISIONS:		
DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	BY
N/A	G. MURPHY	J. HUBBARD		
FOR: ST. JOE MARINA COTTAGES LLC				
161 0000 MORNING BT.				
SUITE 201				
PORT ST. JOE, FL 32456				

IMPORTANT NOTICE

The Property Appraiser makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change. This website is NOT TO BE USED FOR FINANCING PURPOSES, INSURANCE PURPOSES, AND/OR ADDRESS VERIFICATION! If you need address verification contact the Emergency Management Addressing office at 850-229-9110

***An Actual Year of 1900 is not a true representation of the Actual Year built. This is a "default" setting where an actual date is not known. The Effective Year is simply reflective of the current market and the condition of the property. The Effective Year is evident by the condition and utility of the structure and may or may not represent the Actual Year Built.**

Parcel Summary

Parcel ID 04594-030R
 Location Address HARBORVIEW DR
 PORT ST JOE
 Brief Tax Description S 2 T 8 R 11 1.038 AC M/L 50 FT WATERFRONT ORB 786/813 FR SRS LAND CO LLC MAP 50B
 (Note: Not to be used on legal documents.)
 Property Use Code VACANT (0000)
 Sec/Twp/Rng 2-8S-11W
 Tax District Port St. Joe City (5)
 Millage Rate 16.0005
 Acreage 1.038
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 ST JOE MARINA COTTAGES LLC
 161 GOOD MORNING ST
 SUITE 201
 PORT ST JOE, FL 32456

Land Information

Land Use	Number of Units	Unit Type	Frontage	Depth
510002 - PSJ LOT(COM) WF AC	1	LT	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book/Page	Qualification	Vacant/Improved	Grantor	Grantee
N	1/4/2023	\$1,350,000	WD	<u>786/813</u>	Qualified	Vacant	SRS LAND COMPANY LLC	ST JOE MARINA COTTAGES LLC
N	10/29/2013	\$480,000	SW	<u>546/258</u>	Qualified	Vacant	THE ST JOE COMPANY	SRS LAND COMPANY LLC
N	11/28/2005	\$1,500,000	SW	<u>397/448</u>	Unqualified	Vacant	THE CITY OF PSJ	THE ST JOE COMPANY

Valuation

	2023 Preliminary Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
Building Value	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0
Land Value	\$1,150,000	\$559,742	\$519,000	\$404,820
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$559,742	\$0	\$0
Just (Market) Value	\$1,150,000	\$559,742	\$519,000	\$404,820
Assessed Value	\$538,815	\$489,832	\$445,302	\$404,820
Exempt Value	\$0	\$0	\$0	\$0
Taxable Value	\$538,815	\$489,832	\$445,302	\$404,820
Maximum Save Our Homes Portability	\$611,185	\$69,910	\$73,698	\$0

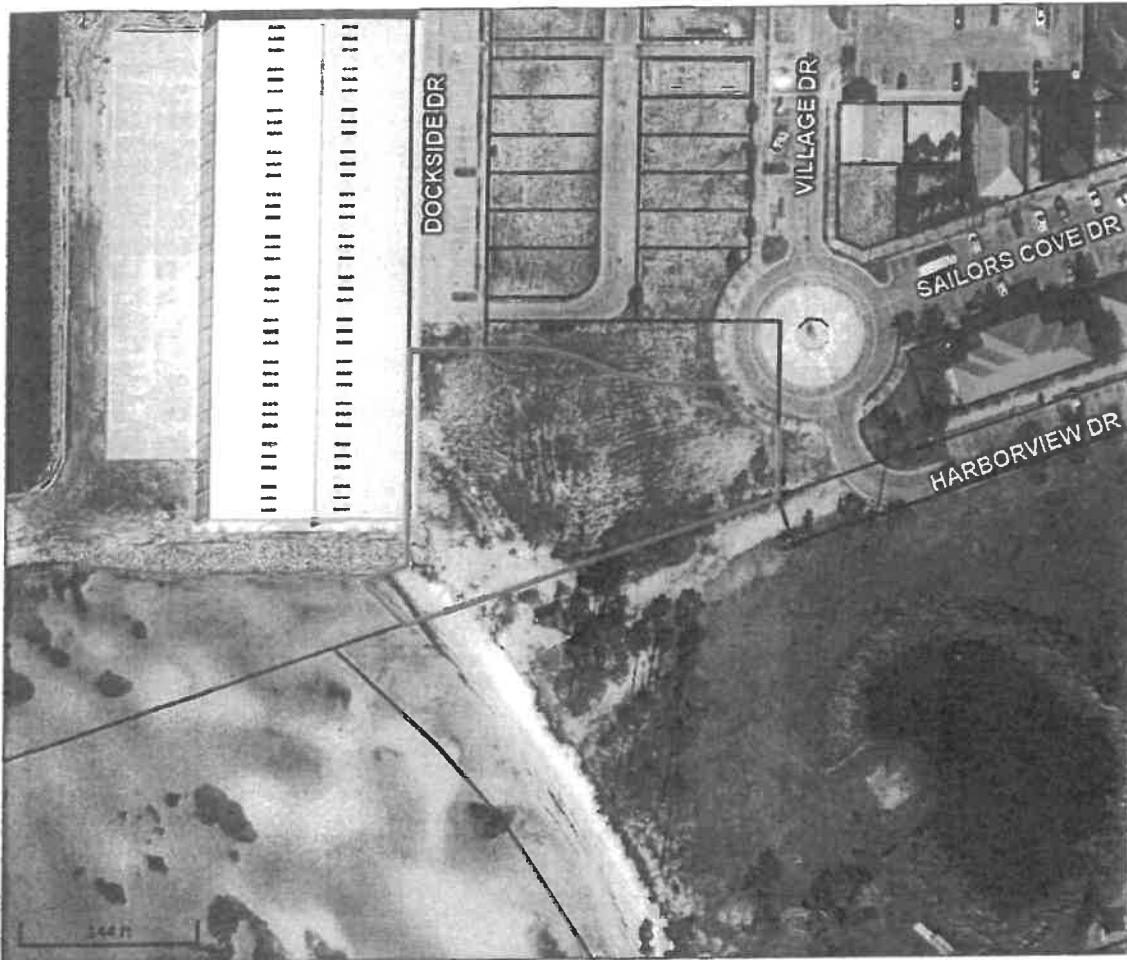
"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Building Information, Extra Features, Sketches.

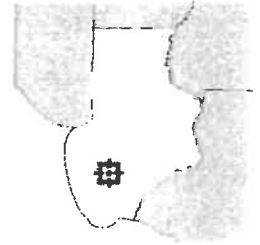
The Property Appraiser makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change. This website is NOT TO BE USED FOR FINANCING PURPOSES, INSURANCE PURPOSES, AND/OR ADDRESS VERIFICATION! If you need address verification contact the Emergency Management Addressing office at 850-229-9110
[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 9/28/2023, 8:12:22 AM

Contact Us

Developed by
 **Schneider**
 GEOSPATIAL



Overview



Legend

- ☐ Parcels
- ☐ Roads

Parcel ID	04594-030R	Alternate ID	04594030R	Owner Address	ST JOE MARINA COTTAGES LLC
Sec/Twp/Rng	2-8S-11W	Class	VACANT		161 GOOD MORNING ST
Property Address	HARBORVIEW DR	Acreage	1.038		SUITE 201
	PORT ST JOE				PORT ST JOE, FL 32456
District	5				
Brief Tax Description	S 2 T 8 R 11 1.038 AC M/L				
	(Note: Not to be used on legal documents)				

Date created: 9/28/2023
 Last Data Uploaded: 9/28/2023 8:12:22 AM

Developed by  **Schneider**
 GEOSPATIAL



Dewberry Engineers Inc. | 850.227.7200
324 Marina Drive | 850.227.7215 fax
Port Saint Joe, FL 32456 | www.dewberry.com

October 24, 2023

Mr. Jim Anderson, City Manager
City of Port St. Joe
305 Cecil G. Costin Sr. Blvd.
Port St. Joe, FL 32456

RE: Allen Memorial Way – Professional Services

Dear Mr. Anderson:

It is our understanding that the City has received funding from the FDOT Small County Outreach Program (SCOP) for the resurfacing of Allen Memorial Way from Long Avenue to Constitution Drive. The length of this project is approximately 0.493 miles. It is also our understanding that the City has requested a proposal from Dewberry Engineers Inc. (Dewberry) to provide the professional services associated with this project. Dewberry is pleased to provide this proposed Task Order to provide these services. **Exhibit A** contains a detailed Task Order with a description of the scope of services for the pre-construction design services. Dewberry proposes to provide these services for a fee of **\$44,262.90**. The associated fees are within the preliminary engineering project funds allowed by FDOT.

If you have any questions, please give me a call at 850.693.2181.

Sincerely,

A handwritten signature in black ink, appearing to read "JB", with a long horizontal flourish extending to the right.

Josh Baxley, P.E.
Associate, Branch Manager

**EXHIBIT A
ALLEN MEMORIAL WAY RESURFACING SCOP
PROFESSIONAL ENGINEERING SERVICES
FOR CITY OF PORT ST JOE
OCTOBER 2023**

This Task Order is for the purpose of Dewberry as the ENGINEER to provide pre-construction design services for the Allen Memorial Way Resurfacing Project for the City of Port St Joe acting by and through its Commission.

DESCRIPTION OF ENGINEERING SERVICES
SCOPE OF SERVICES

A. SURVEYING

1. Dewberry shall locate the right-of-way, existing improvements (i.e., fences, drainage structures, utilities, etc...), and horizontal and vertical alignments.
2. Dewberry shall acquire elevation points along the roadway every 100' in order to evaluate the existing roadway and shoulder cross-slopes.

B. DESIGN

1. Dewberry shall evaluate existing roadway widths, drainage patterns and infrastructure to determine necessary improvements.
2. Dewberry shall design the new roadway in accordance with approved standards.
3. Dewberry shall investigate existing roadway failures and apply corrective measures to ensure a reasonable lifetime for the new roadway.
4. Dewberry shall evaluate roadside obstructions to ensure new roadway meets all clear zone requirements.
5. Dewberry shall submit a 60% review plan set to the City and to FDOT.
6. Dewberry shall submit a 90% review plan set and cost estimate to the City and to FDOT.
7. Dewberry shall update construction plans based on 90% comments from FDOT and City staff.
8. Dewberry shall prepare construction plans and specifications necessary to bid the proposed project.
9. Dewberry shall prepare all bid documents.
10. Dewberry shall review bids and make a recommendation for bid award.

C. DELIVERABLES

1. Dewberry shall provide 3 sets of 100% plans and bid documents.

The following services will not be provided as a part of this contract and will be billed at our contracted hourly rates if deemed necessary:

1. Title searches
2. Stormwater Permitting with FDEP or NFWMD
3. CEI

TOTAL (Tasks A-C) \$44,262.90

IN WITNESS WHEREOF, the parties hereto have caused this Task Order to be executed by their undersigned officials as duly authorized.

DEWBERRY

324 Marina Dr.

Port St. Joe, FL 32456

By: Josh Baxley

Name and Title: Josh Baxley, PE

Witnessed: Shannon Penfro

Date: 10/24/23

CITY OF PORT ST JOE, FLORIDA

305 Cecil G. Costin, Sr. Blvd

Port St Joe, FL 32456

By: Jim Anderson

Name and Title: _____

Witnessed: _____

Date: _____





Dewberry Engineers Inc. | 850.227.7200
324 Marina Drive | 850.227.7215 fax
Port Saint Joe, FL 32456 | www.dewberry.com

November 1, 2023

Mr. Jim Anderson, City Manager
City of Port St. Joe
305 Cecil G. Costin Sr. Blvd.
Port St. Joe, FL 32456

RE: 10th Street Sports Complex – Master Plan
Professional Services Proposal

Dear Mr. Anderson,

Dewberry Engineers Inc. (DEI) is pleased to provide this proposal for professional services. It is our understanding that the City wishes to re-design the 10th Street Sports Complex which currently contains six (6) fields, add additional parking, close 10th street and pipe the existing ditch from 8th Street to 13 Street. The following list defines the services that will be provided to complete the projects:

A. PREPARATION OF MASTER PLAN DRAWING

- Meetings with the City as required
- Field work as required
- Prepare a master plan concept based on our field investigation and the conceptual site plan dated 05/23
- Review with City and make requested changes

We propose to perform the services described above for an hourly fee not to exceed **\$10,000.00** without City approval. If additional services are required beyond **\$10,000.00** an additional task order will be required.

Services not included in this proposal are as follows:

1. Survey services.
2. Design services.
3. Permitting services.

We appreciate the opportunity to provide engineering services for the City of Port St. Joe. If this proposal is acceptable, please sign in the space provided below. Should you have questions or need additional information, please give me a call at 850.693.2181

Sincerely,

Josh Baxley, P.E.
Associate, Branch Manager

Accepted By: _____

Date: _____

SCALE



29

REVIEWS

[illegible]

NO.	DESCRIPTION	DATE
DRAWN BY	K. GUALANCE	
APPROVED BY	J. BAXLEY	
- CHECKED BY	C. BROWA	
DATE		OCTOBER 2023
TITLE		

**SITE PLAN
OPTION 2**

PROJECT NO.	501462
-------------	--------

P2

SHEET NO.



NOTE

-THIS PROPOSED SIT PLAN CONSISTS OF 3969 SF OF ADDITIONAL PROPOSED IMPERVIOUS AREA, STORMWATER WILL NOT BE REQUIRED FOR THIS OPTION.

RESOLUTION 2023-12

"A RESOLUTION OF THE CITY OF PORT ST. JOE, RELATING TO THE STATE REVOLVING FUND LOAN PROGRAM; MAKING FINDINGS; AUTHORIZING THE LOAN APPLICATION; AUTHORIZING THE LOAN AGREEMENT; ESTABLISHING PLEDGED REVENUES; DESIGNATING AUTHORIZED REPRESENTATIVES; PROVIDING ASSURANCES; PROVIDING FOR CONFLICTS, SEVERABILITY, AND EFFECTIVE DATE."

WHEREAS, Florida Statutes provide for loans to local water utilities to finance the construction of water facilities; and

WHEREAS, Florida Administrative Code rules require authorization to apply for loans, to establish pledged revenues, to designate an authorized representative; to provide assurances of compliance with loan program requirements; and to enter into a loan agreement; and

WHEREAS, the State Revolving Fund loan priority list designates Project No. LS-23017 as eligible for available funding; and

WHEREAS; THE CITY OF PORT ST. JOE intends to enter into a loan agreement with the Department of Environmental Protection under the State Revolving Fund for project financing.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF CITY COMMISSIONERS AS FOLLOWS:

SECTION I. The foregoing findings are incorporated herein by reference and made a part hereof.

SECTION II. THE CITY OF PORT ST. JOE is authorized to apply for a loan to finance the Project.

SECTION III. The revenues pledged for the repayment of the loan are water revenues.
THE CITY OF PORT ST. JOE has liens on water revenues.

SECTION IV, The Mayor is hereby designated as the authorized representative to provide the assurances and commitments required by the loan application.

SECTION V. The Mayor is hereby designated as the authorized representative to execute the loan agreement which will be binding obligation in accordance with its terms when signed by both parties, The Mayor is authorized to represent the company in carrying out the company's responsibilities under the loan agreement. The Mayor is authorized to delegate responsibility to appropriate staff to carry out technical, financial, and administrative activities associated with the loan agreement.

SECTION VI. The legal authority for borrowing moneys to construct this Project is THE CITY OF PORT ST. JOE.

SECTION VII. All resolutions or part of Resolutions in conflict with any of the provisions of this Resolution are hereby repealed.

SECTION VIII. If any section or portion of a section of this Resolution proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or part of this Resolution.

SECTION IX. This resolution shall become effective immediately upon its passage and adoption.

PASSED and ADOPTED this _____ day of November, 2023.

ATTEST

Charlotte M. Pierce, City Clerk

Rex Buzzett, Mayor

Current City Projects 11/17/23

- Maddox Park Drainage- Need more info. from engineer to bid and direction from the Board.
- Clifford Sims Park Repairs- Under Construction
- Centennial Bldg. Rehab- The project has been re-bid and the new bids are under review. A grant modification has been approved by The Dept. of State.
- Lighthouse Complex Sleeping Beauty Rehab- The project has been re-bid and is under review.
- Sewer Rehab. CDBG-DR- Grant Funding Approved 5/21, Grant Agreement Received, The CCTV bid has been awarded and the contractor is working.
- Long Ave. Paving- Final pay request to mill and resurface 1" on the entire road to be completed in the Spring 2024
- Beacon Hill Sewer- The Lift Station is Operational & the Collection System is under Construction.
- Washington Gym Complex Roofs- Reviewing the Engineers Report
- ESAD Sewer Purchase Evaluation for Upgrades- The sale is closed and the final upgrades are scheduled.
- Reid Ave. Street Lights- (3) new Light Poles- Complete
- Public Works additional storage bldg.- Complete
- 9/5/23 Dewberry tasked to draft a conceptual drawing to add parking along 2nd Street.
- 9/5/23 Dewberry is working on the permits to pipe the ditch at the 10th Street Ballfields.
- 9/15/23 Dewberry tasked to Survey & Topo the new City Hall Complex- Completed and now we are working on the Conceptual Plan
- 9/26/23 Dewberry tasked to work on the Expansion of Zone 3 at the WW Sprayfields.
- 9/26/23 CW Roberts awarded the contract for the Madison Street Paving Project. Out for Bid on the CEI Services.

- 10/3/23 Staff meet with Southeast Pipe in reference to a quote to camera the 20th Street Stormwater Pipe.
- 10/17/23 Emergency Sewer Repair on Hwy 71 by CWR. Complete



CITY OF PORT ST. JOE CHANGE ORDER REQUEST FORM

CO NO. 2



Date:	October 17, 2023		Contractor:	Southeast Pipe Surveying, Inc. 3523 Williams Street Patterson, Georgia 31557	
CO No.	2	Type:	\$/Time	City ITB Number:	RFQ 2023-01
Project:	CITY OF PORT ST. JOE - CCTV SEWER VIDEO INSPECTION CDBG-DR WASTEWATER REHABILITATION PROJECT – PHASE 1				
Funding Agency (if applicable):	CDBG-DR Funded Project				

Due to storm events and other incidental delays, the Contractor is requesting 19 additional days for completion of the project.

In addition, per Field Order No. 1 agreed upon by all parties in July 2023, the following adjustments are hereby authorized in accordance with the terms and conditions of the Agreement.

- Contractor completed CCTV surveying of 3,690.60 linear feet of 6-inch sewer pipe as follows:

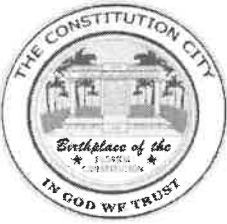
6-INCH SEWER PIPE				PAY APP 3		CHANGE ORDER 2 - PR3	
DESCRIPTION	PIPE SIZE	UNIT PRICE	BID QTY	BID COST	UNIT AMOUNT	& AMOUNT	
CB8-37	CB8-STUBOUT	6 \$ 4.50	389.4	1,752.3	3,690.60	\$ 16,607.70	
CB8-53	CB8-54	6 \$ 4.50	418.0	1,881.0			
CB8-54	CB8-STUBOUT	6 \$ 4.50	92.0	414.0			
CB8-6	CB8-7	6 \$ 4.50	387.5	1,738.8			
CB8-8	CB8-9	6 \$ 4.50	168.8	759.6			
CB8-21	CB8-21A	6 \$ 4.50	158.5	713.3			
CB8-22	CB8-22A	6 \$ 4.50	188.1	851.5			
CB8-23	CB8-23A	6 \$ 4.50	375.2	1,692.9			
CB8-24A	CB8-24B	6 \$ 4.50	369.2	1,661.4			
CB8-22	CB8-26	6 \$ 4.50	371.8	1,673.1			
CB8-38	CB8-38A	6 \$ 4.50	360.9	1,624.1			
CB8-39	CB8-39A	6 \$ 4.50	390.2	1,755.9			
TOTALS FOR 6-INCH				3,690.60	\$ 16,607.70	3,690.60	\$ 16,607.70

- Contractor completed CCTV surveying of 815.20 linear feet of 10-inch sewer pipe as follows:

10-INCH SEWER PIPE				PAY APP 3		CHANGE ORDER 2 - PR3	
DESCRIPTION	PIPE SIZE	UNIT PRICE	ADJUSTED BID QTY	ADJUSTED COST	UNIT AMOUNT	& AMOUNT	
CB8-30	CB8-30A	10 \$ 5.10	84.4	328.4	815.2	\$ 4,157.52	
CB8-30	CB8-30A	10 \$ 5.10	338.4	1,725.8			
CB8-20	CB8-30A	10 \$ 5.10	412.4	2,103.2			
TOTALS FOR 10-INCH				815.20	\$ 4,157.52	815.20	\$ 4,157.52

- Contractor completed heavy cleaning during CCTV surveying of 1,423 linear feet of sewer pipe as follows:

HEAVY CLEANING				PAY APP 3		CHANGE ORDER 2 - PR3	
DESCRIPTION	PIPE SIZE	UNIT PRICE	ADJUSTED BID QTY	ADJUSTED COST	UNIT AMOUNT	& AMOUNT	
CB8-51	CB8-63	8 \$ 3.70	83.3	308.21	1,423.0	\$ 5,265.10	
CB8-A1	CB8-63	8 \$ 3.70	293.8	1,087.06			
CB8-10	CB8-11	8 \$ 3.70	377.3	1,398.01			
CB8-22	CB8-26	6 \$ 3.70	371.8	1,375.66			
CB10-23	CB10-24	8 \$ 3.70	296.8	1,098.16			
TOTALS FOR HEAVY CLEANING				1,423.00	\$ 5,265.10	1,423.00	\$ 5,265.10



**CITY OF PORT ST. JOE
CHANGE ORDER REQUEST FORM**

CO NO. 2



A comparison of the Bid Quantity of all pipe versus the Total Completed To Date of all pipe, indicates, there is approximately 9,394.20 linear feet remaining to install.

BID QUANTITY - TOTAL PIPE		TOTAL COMPLETED TO DATE	REMAINING	% OF PIPE CCTV COMPLETED
33,660	LF	(24,265.80)	9,394.20	72%

Below is a table showing the total cost accrued to date, including the cost for cleaning the 8-inch and 12-inch sewer pipe (Original Bid Costs), costs associated with the Change Order Nos. 1 and 2, which included 6- and 10-inch pipe and heavy cleaning. The table indicates that the project is now over budget of the pipe cleaning line items, by \$1,033.14.

RUNNING TOTAL	COST
BID PIPE COST TO DATE	\$116,685.51
+ CO NO. 1	\$22,558.31
+ CO NO. 2	\$26,030.32
TOTAL ACCRUED	\$165,274.14
ORIGINAL BUDGET	\$164,241.00
OVER BUDGET	-\$1,033.14

It should be noted that a clean up change order for the offset cost will need to be prepared for those lines that were originally a different size than those found in the field.

Original Contract Amount (\$)	\$231,641.00	Original Contract Start Date (120 days)	07/17/2023
This Change Order Requested Amount (\$)	\$26,030.32	Original Contract Substantial Completion Date	10/15/2023
Previously Approved Change Order Amounts (\$)	\$22,558.31	Original Contract Final Completion Date	11/14/2023
Net Change (+/- \$)	\$48,588.63	Change Order Requested Amount (+/- days)	19 days
New Contract Amount	\$280,229.63	Previously Approved Change Orders (+/- days)	0 days
Total Project Linear Feet	33,660.00	Net Change (+/-)	19 DAYS
Total Completed Linear Feet	24,265.80	NEW SUBSTANTIAL COMPLETION DATE	11/03/2023
% of Pipe Inspected to Date	72.09%	NEW FINAL COMPLETION DATE	12/03/2023

Approval Signatures:

By:

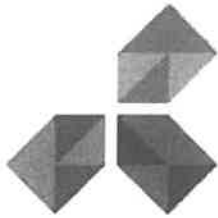
Elizabeth S. Moore, P.E.
Engineer of Record (Anchor)

Date: **October 19, 2023**

By:

Jim Anderson
City of Port St. Joe, City Manager

Date:



CareerSource
GULF COAST

5230 West Highway 98 | Panama City FL 32401
P: 850.913.3285 | F: 850.913.3269
careersourcegc.com

City of Port St. Joe
City Commissioners
305 Cecil Costin Sr. Blvd.
Port St Joe, FL 32456

October 30, 2023

Dear Commissioners,

CareerSource has been funding part-time wages for two staff to open the Washington Gym for fourteen hours per week for several years now. In months with holidays, we open the gym for more days and longer hours. This program year we have a budget shortfall overall due to rising costs for pretty much everything, but especially for the summer program, where we combine funds from several donors to be able to operate the year-round staffing of the gym.

We have currently reduced the number of hours of the gym's opening to 8 per week. These 8 hours include Monday/Tuesday from 5-7pm and Saturday from 1-4 pm. In order for us to open back up to our normal schedule of 14 hours per week, and an additional 12 hours per week for Spring Break and Christmas holidays, it will take \$5,500. This amount includes wages of \$12 per hour plus FICA and would allow us to stay open through March when we usually receive other funds which may be used to open the gym. We are requesting \$3,500 from the City of Port St. Joe to assist with this shortfall in order to keep the Washington Gym open; we are optimistic that we will have donations to cover the other \$2,000 needed.

We appreciate your consideration of this request, and your partnership in serving the Port St. Joe Community.

Sincerely,

Kimberly L. Bodine
Executive Director
CareerSource Gulf Coast



3523 Williams Street, Pattenon, GA 31557-0477
Telephone: (912) 647-2847
www.southeastpipe.com

Quote #: Q230210

Quote To:	Date:	Job Name:
John Grantland	October 12, 2023	Port St. Joe Storm Water Inspection
City of Port St Joe		
305 Cecil G Costin Sr Blvd		
Port St. Joe, FL 32456		
850-527-2221		
jgrantland@psj.fl.gov		

Bid Item	Description	Qty	UOM	Unit Price	Bid Price
10	Mobilization	1	LS	\$4,800.00	\$4,800.00
20	Light Clean and CCTV 48"	4000	LF	\$7.50	\$30,000.00
30	Heavy Clean 48" Adder	500	LF	\$16.00	\$8,000.00
40	Pump and Plug	1	LS	\$7,600.00	\$7,600.00
					\$0.00
					\$0.00
					\$0.00
	Light Clean - less than 25% full of debris				\$0.00
	Heavy Clean - greater than 25% full of debris				\$0.00
					\$0.00
					\$0.00
					\$0.00
				Total:	\$50,400.00

Scope of Work: Southeast Pipe Survey, Inc. to provide all labor, equipment, and materials to perform work as per the above description.

Port St Joe to Provide:

All Rights of Entry
Access to water source
Dumpsite for debris removed from pipe
Traffic Control - If more than signs and cones

Exclusions:

Point Repairs
Ground water pumping

PROJECT INFORMATION

Project Name: _____

Project Location: _____

Is project Federally funded?	Yes <input type="checkbox"/> No <input type="checkbox"/>	Is Certified Payroll required?	Yes <input type="checkbox"/> No <input type="checkbox"/>
------------------------------	--	--------------------------------	--

IMPORTANT IF THIS IS A FEDERALLY FUNDED PROJECT OR IF PROJECT REQUIRES CERTIFIED PAYROLL, PLEASE ATTACH COPY OF

Client/Company Name: _____

Billing/Physical Address: _____

Billing Rep. Name/Phone #/Email: _____

Date of Acceptance: _____ Authorized Signature: _____

Acceptance of Proposal - The above prices, specifications, and conditions are satisfactory and are hereby accepted. You are authorized to perform the work specified.



3523 Williams Street, Pattenon, GA 31557-0477
Telephone: (912) 647-2847
www.southeastpipe.com

Note:

Payment terms – Due upon completion and approved inspections. SPS will NOT be subject to retainage. Our invoices are to be paid in full. This proposal may be withdrawn by SPS if not accepted within (30) days. Any invoices not paid within thirty days from presentation will accrue interest at a rate of 1.5% per month on the unpaid balance. The fee estimate is based on anticipated cooperation from your personnel and the assumption that unexpected circumstances will not be encountered during the engagement. If significant additional time is necessary, we will discuss it with you and arrive at a new fee estimate before we incur the additional costs. Payment shall be based on actual field measurements from center of manhole to center of manhole.

- * All materials are guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate.
- * The above prices include one mobilization charge for each crew one time. If additional mobilizations are required due to delays in project by others, SPS will bill accordingly
- * Stand-by time of \$500.00 for CCTV crew and/or \$675.00 for CIPP crew per hour will apply if crew cannot perform work due to delays caused by others or for circumstances beyond our control.

Southeast Pipe Survey, Inc. appreciates the opportunity to quote this project. If you have any questions feel free to call Clay Herrin at 912-647-2847 ext 227.

Please email signed quote to clay@southeastpipe.com or fax to 912-647-2869

*Note: If this project is Federally Funded, all information must be provided to Southeast Pipe Survey, Inc. before work proceeds.

Jim Anderson

From: wesley@rjgormanmarine.com
Sent: Wednesday, November 1, 2023 11:35 AM
To: John Grantland
Cc: Jim Anderson; 'Dale Stevens'
Subject: FW: Clifford Sims ADA question
Attachments: 2012 Aerial.JPG

John- We will charge \$525 per linear foot of boardwalk as an additive/deductive price for adding ~40' of boardwalk for the ramp or deleting the ~29' section leading up to the culdesac. I found some aerial images from 2012 and 2015 and it looks like it never had a boardwalk in that section. I can see why it would be handy to have that shorter path though-unloading and such.



Wesley Lockwood | Estimator
C. (850) 348-1222 | O. (850) 769-7747
Wesley@RJGormanMarine.com

RJ Gorman Marine Construction, LLC
1944 Frankford Ave, Panama City, FL 32405

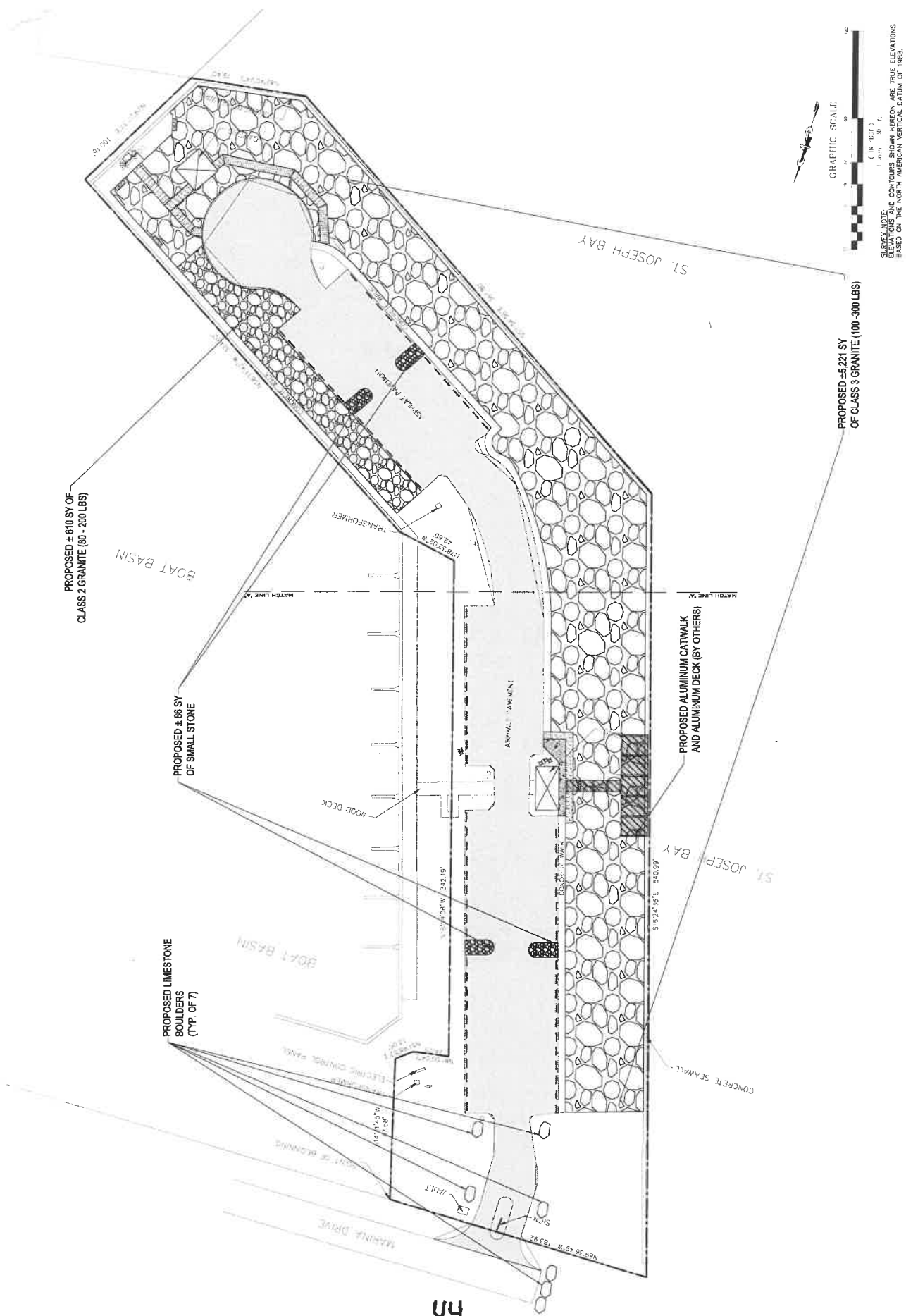
From: wesley@rjgormanmarine.com <wesley@rjgormanmarine.com>
Sent: Tuesday, October 31, 2023 16:29
To: jgrantland@psj.fl.gov
Cc: 'Jim Anderson' <janderson@psj.fl.gov>; 'Dale Stevens' <dale@rjgormanmarine.com>
Subject: Clifford Sims ADA question

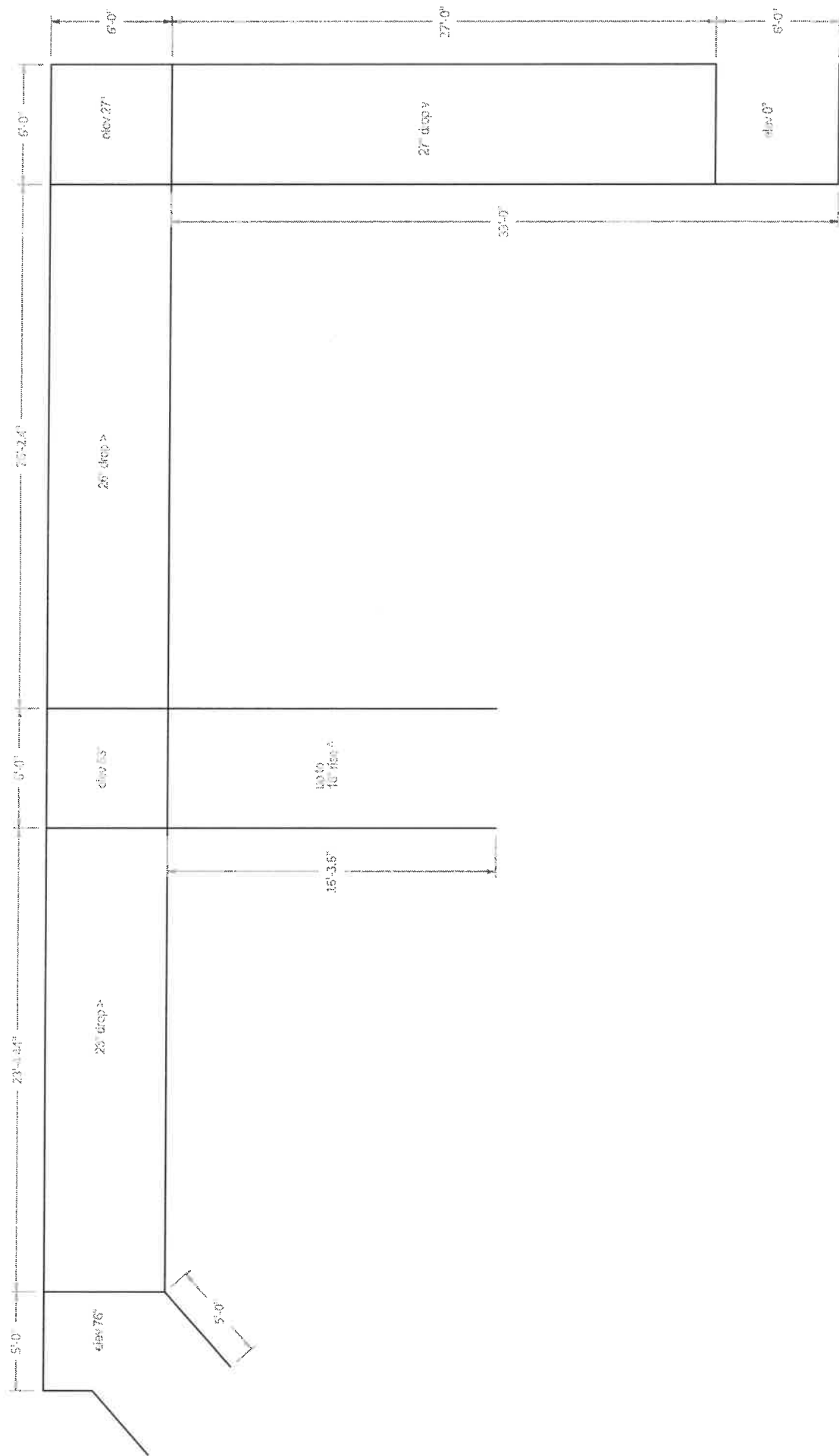
John- This is something I came up with to get the north ramp to ADA standards. It'd be ideal if we could do it at the end so we don't have to add more landings when changing direction. I'm not sure if I have all the rules down, but this is close.



Wesley Lockwood | Estimator
C. (850) 348-1222 | O. (850) 769-7747
Wesley@RJGormanMarine.com

RJ Gorman Marine Construction, LLC
1944 Frankford Ave, Panama City, FL 32405





ALAN JAY FLEET SALES

Sourcewell
Formerly NJPA

Awarded Contract

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DIRECT 863-385-9610

WWW.ALANJAY.COM

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49796-2

Corporate
Office

2003 U.S. 27 South
Sebring, FL 33870

MOBILE 904-838-4999

FAX 863-402-4221

Mailing
Address

P.O. BOX 9200
Sebring, FL 33871-9200

ORIGINAL QUOTE DATE
10/30/2023

QUICK QUOTE SHEET

REVISED QUOTE DATE
10/30/2023

REQUESTING AGENCY **PORT ST JOE, CITY OF**

CONTACT PERSON **JOHN GRANTLAND**

EMAIL **JGRANTLAND@PSJ.FL.GOV**

PHONE **850-527-2221**

MOBILE

FAX

SOURCEWELL (FORMERLY NJPA) CONTRACT # 2024 091521-NAF & 06 www.NationalAutoFleetGroup.com

MODEL	TK31043 1SA	MSRP	\$51,900.00
	2024 GMC SIERRA 3500HD CREW CAB CHASSIS 4WD DRW 60"CA WORK TRUCK		
CUSTOMER ID	Subject to GM Allocation and Production	NJPA PRICE	\$49,846.00
BED LENGTH	60" CA		

** All vehicles will be ordered white w/ darkest interior unless clearly stated otherwise on purchase order.

FACTORY OPTIONS

DESCRIPTION

STA	Subject to availability. Manufacturing Delays to be expected if order is accepted by the Factory.	\$0.00
GAZ	Summit White	\$0.00
H2G	Jet Black, Vinyl seat trim	\$0.00
L8T	Engine, 6.6L V8	\$0.00
MKM	Transmission, Allison 10-Speed automatic	\$0.00
1SA	OPTIONS Pro Preferred Equipment Group	\$0.00
9L3	Spare tire delete	\$0.00
AZ3	Seats, front 40/20/40 split-bench	\$0.00
DBG	Mirrors, outside power-adjustable vertical trailing	\$0.00
FE9	Emissions, Federal requirements	\$0.00
GT4	Rear axle, 3.73 ratio	\$0.00
GTY	Rear axle, wide-track	\$190.00
JOR	Audio system, GMC Infotainment System with 7" diagonal color touch-screen, AM/FM stereo	\$0.00
RVQ	LPO, Black tubular assist steps, 6" rectangular	\$795.00
ZLQ	Fleet Convenience Package	\$435.00
SN5	Rear Camera Kit	\$73.00

FACTORY OPTIONS

\$1,493.00

CONTRACT OPTIONS

DESCRIPTION

NO-TEMP	TEMP TAG NOT REQUESTED, CUSTOMER WILL HANDLE THEIR OWN TAG WORK.	\$0.00
CAMERA-GM	Dealer installed factory ordered camera (REQUIRES SN5).	\$195.00
K 6108D54J	Knapheide 9' DRW Wide utility body 54" Load Floor for 60" CA (GMC/CHEVY Req's GTY) (Includes 2nd Stage MSO, Weight Slip, & Completed Vehicle Certification.)	\$12,045.00
K CLV-SB	Class V Hitch for Service Body	\$970.00
K 7/4 WIRE	7 way flat camper trailer wiring with 4 prong flat	\$210.00
AJ DB2516	Draw bar with 2-5/16" Ball, pin, and clip.	\$110.00
HD USOB-TB	HD Scorpion spray on bed liner applied inside cargo area, tops of boxes, and rear bumper of 8' & 9' utility body.	\$1,160.00
FS MPS62U-4	(4) Federal Signal MicroPulse Ultra dual color with (2) mounted in grille and (2) mounted to rear of vehicle. (AMBER/WHITE)	\$810.00

CONTRACT OPTIONS

\$15,500.00

SOURCEWELL (FORMERLY NJPA) CONTRACT # 2024 091521-NAF & 06 www.NationalAutoFleetGroup.com

TRADE IN

TOTAL COST

\$66,839.00

YES WE TAKE TRADE INS

ASK ABOUT MUNICIPAL FINANCING

\$0.00

TOTAL COST LESS TRADE IN(S)

QTY

1

\$66,839.00

Estimated Annual payments for 60 months paid in advance: \$14,969.19

Municipal finance for any essential use vehicle, requires lender approval, WAC.

Comments

ORDERED UNIT VIN: [VIN NA]

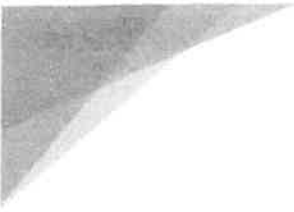
VEHICLE QUOTED BY

CHRISTY SELF

GOVERNMENT ACCOUNT MANAGER christy.self@alanjay.com

"I Want to be Your Fleet Provider"

I appreciate the opportunity to submit this quotation. Please review it carefully. If there are any errors or changes, please feel free to contact me at any time.
 I am always happy to be of assistance.



City of Port St. Joe

Surface Water Treatment Plant

Clarifier's 3 and 4 Bid Specification

The following bid specification is for the interior renovation and repaint of Clarifier's 3 and 4.

Scope of Work

Surface Preparation: Once covered and inspected by plant operator, **ALL** interior areas will be sandblasted to a SSP-10 near white finish. All bare metal will be primed DAILY with Tnemec Series 91 H2O Hydro Zinc approved epoxy to prevent any new rust from forming. Once all sandblasting and priming is complete, all dust and sand must be vacuumed out and the tank must be thoroughly washed before paint is applied.

Dimensions:

Height- 16'4", Circumference- 138'

Prime: Tnemec Series 91 H2O Hydro Zinc NSF Approved Delft Blue.

Intermediate Coat: Tnemec Pota-Pox Series 20HS NSF Approved Beige at 6-8 mils dft.

Final Coat: Tnemec Pota-Pox Series 20HS NSF Approved White at 6-8 mils dft.

***THE CONTRACTOR WILL BE RESPONSIBLE FOR COVERING CLARIFIER MIXER CHAIN DRIVES AND ALL INFLUENT AND EFFLUENT PIPING INSIDE OF EACH CLARIFIER AS WELL AS THE TOP OPENING OF EACH CLARIFIER WHEN PERFORMING MAINTENANCE TO PREVENT ANY SAND OR DEBRIS FROM ESCAPING AND BLOWING INTO CLARIFIERS CURRENTLY IN OPERATION.**

The following bid specification is for the renovation and repaint of the catwalks to Clarifier's 3 and 4.

Scope of Work

Surface Preparation: The top, bottom, and sides of the catwalk will be completely sandblasted to a SSP-10 near white metal.

Prime: Tnemec Series 91 H2O Hydro Zinc NSF Approved Delft Blue.

Intermediate Coat: Top and Sides-Tnemec Pota-Pox Series 20HS NSF Approved White at 6-8 mils dft. Bottom-Beige.

Final Coat: Top and Sides-Tnemec Endura-Shield Series 73 Urethane Delft Blue at 6-8 mils dft. Bottom-Tnemec Pota-Pox Series 20HS NSF Approved White at 6-8 mils dft.

Safety

Confined space procedures must be in accordance with OSHA 1926.21(b)(6) and OSHA 1926.353(b)



City of Port St. Joe

Surface Water Treatment Plant

Clarifier's 3 and 4 Bid Specification

Warranty

The following warranty statement applies to the work and maintenance performed under the scope of work. Any issues or deficiencies that may arise during or after the course of this contract that are directly related to the current scope of work will be included in the warranty and shall be the sole responsibility of the contractor to pay for any repairs that may need to be done. The work done under this contract and scope of work will be covered under this warranty for a period of two (2) years.



FLORIDA DEPARTMENT OF Environmental Protection

Northwest District
160 W. Government Street, Suite 308
Pensacola, Florida 32502

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Shawn Hamilton
Secretary

October 30, 2023

Jim Anderson, City Manager
City of Port St. Joe
305 Cecil G. Costin Sr. Blvd
Port St Joe, FL 32456
janderson@psj.fl.gov

Re: Consent Order; DEP v. City of Port St. Joe, OGC File No.: 23-0366; Gulf County

Dear Mr. Anderson,

Enclosed is the Second Proposed Consent Order, which addresses issues related to the Port St. Joe WWTF and collection system. The Department took the facility's requests into consideration and made the following adjustments.

1. Removed paragraphs 6-9 and replaced with corrective action Table 1 according to facility provided preliminary plan/schedule.
2. Revised paragraph numbers and penalty amount.
3. Removed SWO 2020-517 from Exhibit B (this SSO was not attributed to this facility).
4. Reduced penalty amount by 25% for good faith effort prior to discovery.
5. Updated Exhibit A: In-Kind Projects.

Please review the document, and if acceptable, sign and return it within **14 days** for final execution. A copy of the executed Consent Order will be forwarded to you for your records. If the document is not acceptable, please contact the Department regarding your objections within 14 days of your receipt of the document.

Please note the requirements of the Consent Order for which you are responsible and fulfill all pertinent actions accordingly. Unless otherwise noted, all deadlines for completing requirements and actions in the Consent Order are to be calculated from its executed date, which is the date the Consent Order was filed with the Department Clerk, as noted on the signature page.

Your cooperation in resolving this matter is greatly appreciated. If you have any questions, please contact Deneale Miller at Deneale.M.Miller@FloridaDEP.gov or via phone (850) 595-0677.

Sincerely,

A handwritten signature in cursive script that reads "Elizabeth Mullins Orr".

Elizabeth Orr
Director
Northwest District

EMO/dmm

cc: Kevin Pettis – WWTF Manager, (kpettis@psj.fl.gov)
Joe Harris – Chief Operator, (jharris@psj.fl.gov)

Enclosure: Consent Order, Exhibit A, Exhibit B

BEFORE THE STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL PROTECTION

STATE OF FLORIDA DEPARTMENT)	IN THE OFFICE OF THE
OF ENVIRONMENTAL PROTECTION)	NORTHWEST DISTRICT
)	
v.)	OGC FILE NO. 23-0366
)	
CITY OF PORT ST. JOE)	
_____)	

CONSENT ORDER

This Consent Order (Order) is entered into between the State of Florida Department of Environmental Protection (Department) and City of Port St. Joe (Respondent) to reach settlement of certain matters at issue between the Department and Respondent.

The Department finds and Respondent admits the following:

1. The Department is the administrative agency of the State of Florida having the power and duty to protect Florida's air and water resources and to administer and enforce the provisions of Chapter 403, Florida Statutes (F.S.), and the rules promulgated and authorized in Title 62, Florida Administrative Code (F.A.C.). The Department has jurisdiction over the matters addressed in this Order.
2. Respondent is a person within the meaning of Section 403.031(5), F.S.
3. Respondent is the owner and is responsible for the operation of the City of Port St. Joe Wastewater Treatment Facility (WWTF), an existing 3.1 Million Gallons per Day (MGD) annual average daily flow (AADF) wastewater treatment facility with reclaimed water discharging to a 1.775 MGD AADF sprayfield land application system (Facility). The Facility is operated under Wastewater Permit No. FLA020206-017-DW1P (Permit), which was issued on August 31, 2018, and revised on December 22, 2022, and expired on August 30, 2023, however a timely renewal application allows the existing permit to remain in effect until there is final agency action on the renewal application. The Facility is located at State Road 382, 0.5 miles East of US Highway 98, in Gulf County, Florida (Property). Respondent owns the Property on which the Facility is located.

4. The Department finds that the following violation(s) occurred:
- a) From April 2020 through December 2022 the Department received two odor complaints in violation of Rule 62-600.400(2)(a), F.A.C.
 - b) From June 2019 to August 2023, the Respondent reported to the Department twelve Sanitary Sewer Overflows (SSOs) from the facilities and collection system, attached hereto as "Exhibit B". These unauthorized discharges are in violation of Rule 62-604.130(1) F.A.C., Rule 62-302.530(6)(a), F.A.C., and 62-620, F.A.C.
 - c) On October 26, 2022, the Department conducted a sanitary sewer overflow preventative inspection and found that the facility failed to maintain and update the Operations and Maintenance Manual for the current collection system in violation of Rule 62-604.500, F.A.C.

Having reached a resolution of the matter Respondent and the Department mutually agree and it is

ORDERED:

5. On June 23, 2023, the Respondent submitted to the Department a Preliminary Wastewater Facility Plan (Plan) in response to the violations listed in paragraph 4 of this Order. Respondent will continue to follow the Plan provided until the final version is complete. In addition, the Respondent will continue to operate sonic disruptors placed into service in April 2021 to control algae growth and odor nuisances for the duration of this Order or until the lagoon system demolition is complete.

6. Respondent shall comply with the following corrective actions within the stated time periods:

Table 1: Facility's Improvement Plan

Improvement Plan Projects	Facility Timeline	Completion Deadline
a. Submit finalized Facilities Plan with design	August 31, 2025 (760 days)	Within two years of the effective date of this Order

modifications and tentative timeline		
b. Secure Funding	August 31, 2026 (1125 days)	Within three years of the effective date of this Order
c. Submit a complete application for Department Wastewater permit to construct modifications provided in the Facilities Plan		Within 60 days of receipt of funding approval
d. New Activated Sludge Wastewater Treatment Plant	August 31, 2033	Within 10 years of the effective date of this Order
e. Dewatering Facility for Ferric Sludge at the Water Plant	August 31, 2028	Within 5 years of the effective date of this Order
f. Lagoon Demolition	August 31, 2033	Within 10 years of the effective date of this Order

7. Within 30 days after completion of the construction, Respondent shall submit to the Department a Certification of Completion, prepared and sealed by a professional engineer registered in the State of Florida, stating that modifications to the Facility, effluent disposal system, and collection system have been constructed in accordance with the provisions of the Permit or, if no Permit is required the design modification(s) submitted pursuant to paragraph 6.a.

8. Within 1 year of the effective date of this Order, Respondent shall submit a schedule for the Gravity Sewer & Lift Station Rehabilitation Project listed in the Plan. The schedule should include a list of project areas and the anticipated dates to complete repairs with a final completion date no later than December 31, 2026.

9. Within 90 days of the effective date of this Order, Respondent shall submit to the Department for review, an updated Operation and Maintenance manual (O&M manual) to include the collection system and meet all requirements of Rules 62-604.500, and 62-600.720, F.A.C. The O&M manual shall reflect recent facility and collection system alterations performed, and shall also include written operational and control procedures, preventative maintenance and repair procedures, and schedule for these activities.

10. Every calendar quarter after the effective date of this Order and continuing until all corrective actions have been completed, Respondent shall submit to the Department a written report containing information about the status and progress of projects being completed under this Order, information about compliance or noncompliance with the applicable requirements of this Order, including construction requirements and effluent limitations, and any reasons for noncompliance. These reports shall also include a projection of the work Respondent will perform pursuant to this Order during the 12-month period which will follow the report. Respondent shall submit the reports to the Department within 30 days of the end of each quarter.

11. Respondent's completion of all corrective actions required by paragraphs 5-10, 12-15, and 30 within the respective deadlines specified thereunder shall constitute full compliance with Rules 62-600.410(5), 62-604.130(1), 62-302.530, 62-302.700(1), 62-620.610, and 62-604.500, F.A.C.

12. Within 30 days of the effective date of this Order, Respondent shall pay the Department \$18,216.00 in settlement of the regulatory matters addressed in this Order. This amount includes \$17,716.00 for civil penalties and \$500.00 for costs and expenses incurred by the Department during the investigation of this matter and the preparation and tracking of this Order. The civil penalties are apportioned as follows: \$4,000.00 for violation of Rule 62-604.130(1), F.A.C.; \$10,000.00 for violation of Rules 62-302.530, and 62-302.700(1) F.A.C.; \$5,000.00 for violation of Rules 62-604.500(2) and (3) F.A.C., and 62-620.610(7) F.A.C.; \$1,000.00 for violation of Rule 62-600.410(5), F.A.C.; \$1,500.00 for violation of Rules Rule 62-604.500(4)(c), F.A.C.; and \$1,500.00 for violation of Rules 62-620.610(20), F.A.C..

13. Respondent agrees to pay the Department stipulated penalties in the amount of \$100.00 per day for each and every day Respondent fails to timely comply with any of the requirements of paragraphs 5-10, 14, 15, 30, and "Exhibit A" of this Order. Additionally, Respondent shall pay the Department stipulated penalties for any discharges of wastewater from the WWTF and/or collection/transmission system. Respondent shall pay penalties as follows:

<u>Amount p/day p/ discharge</u>	<u>Discharge Volume</u>
\$1,000.00	up to 5,000 gallons
\$2,000.00	5,001 to 10,000 gallons
\$5,000.00	10,001 to 25,000 gallons
\$10,000.00	25,001 to 100,000 gallons
\$15,000.00	in excess of 100,000 gallons

The Department may demand stipulated penalties at any time after violations occur. Respondent shall pay stipulated penalties owed within 30 days of the Department's issuance of written demand for payment and shall do so as further described in paragraph 20, below. Nothing in this paragraph shall prevent the Department from filing suit to specifically enforce any terms of this Order. Any stipulated penalties assessed under this paragraph shall be in addition to the civil penalties agreed to in paragraph 15 of this Order.

14. In lieu of making cash payment of \$17,716.00 in civil penalties as set forth in paragraph 12 above, Respondent may elect to off-set this amount by implementing an in-kind penalty project, which must be approved by the Department. An in-kind project must be either an environmental enhancement, environmental restoration or a capital/facility improvement project and may not be a corrective action requirement of the Order or otherwise required by law. The Department may also consider the donation of environmentally sensitive land as an in-kind project. The value of the in-kind penalty project shall be one and a half times the civil penalty off-set amount, which in this case is the equivalent of at least \$26,574.00. If Respondent chooses to implement an in-kind project, Respondent shall notify the Department of its election by certified mail within 15 days of the effective date of this Order. Notwithstanding

the election to implement an in-kind project, payment of the remaining \$500.00 in costs must be paid within 30 days of the effective date of the Order.

15. If Respondent elects to implement an in-kind project as provided in paragraph 14, then Respondent shall comply with all the requirements and time frames in "Exhibit A" entitled In-Kind Projects.

16. In the event that Respondent elects to off-set civil penalties including stipulated penalties by implementing an in-kind penalty project which is approved by the Department, during the period that this Order remains in effect or during the effective date of any Department issued Permit to Respondent whichever is longer (Prohibited Transfer Duration), Respondent shall not transfer or use funds obtained by the Respondent from the collection of sewer rates for any purpose not related to the management, operation, or maintenance of the Sewer System or to any capital improvement needs of the Sewer System (hereinafter, Prohibited Transfer). Respondent shall annually certify to the Department using the Annual Certification Form located on "Exhibit A" to this Order that no Prohibited Transfer has occurred. In the event of any Prohibited Transfer, the In-Kind project option shall be forfeited, and entire civil penalty shall immediately become due and owing to the Department irrespective of any expenditures by the Respondent in furtherance of the In-Kind project.

17. Respondent shall make all payments required by this Order by cashier's check, money order or on-line payment. Cashier's check or money order shall be made payable to the "Department of Environmental Protection" and shall include both the OGC number assigned to this Order (OGC# 23-0366) and the notation "Water Quality Assurance Trust Fund." Online payments by e-check can be made by going to the DEP Business Portal at: <http://www.fldepportal.com/go/pay/>. It will take a number of days after this order is final, effective and filed with the Clerk of the Department before ability to make online payment is available.

18. Except as otherwise provided, all submittals and payments required by this Order shall be sent to the Assistant District Director, Department of Environmental Protection, Northwest District Office, 160 West Government St., Pensacola, FL 32502.

19. Respondent shall allow all authorized representatives of the Department access to the Facility and the Property at reasonable times for the purpose of determining compliance with the terms of this Order and the rules and statutes administered by the Department.

20. In the event of a sale or conveyance of the Facility or of the Property upon which the Facility is located, if all of the requirements of this Order have not been fully satisfied, Respondent shall, at least 30 days prior to the sale or conveyance of the Facility or Property, (a) notify the Department of such sale or conveyance, (b) provide the name and address of the purchaser, operator, or person(s) in control of the Facility, and (c) provide a copy of this Order with all attachments to the purchaser, operator, or person(s) in control of the Facility. The sale or conveyance of the Facility or the Property does not relieve Respondent of the obligations imposed in this Order.

21. If any event, including administrative or judicial challenges by third parties unrelated to Respondent, occurs which causes delay or the reasonable likelihood of delay in complying with the requirements of this Order, Respondent shall have the burden of proving the delay was or will be caused by circumstances beyond the reasonable control of Respondent and could not have been or cannot be overcome by Respondent's due diligence. Neither economic circumstances nor the failure of a contractor, subcontractor, materialman, or other agent (collectively referred to as "contractor") to whom responsibility for performance is delegated to meet contractually imposed deadlines shall be considered circumstances beyond the control of Respondent (unless the cause of the contractor's late performance was also beyond the contractor's control). Upon occurrence of an event causing delay, or upon becoming aware of a potential for delay, Respondent shall notify the Department by the next working day and shall, within seven calendar days notify the Department in writing of (a) the anticipated length and cause of the delay, (b) the measures taken or to be taken to prevent or minimize the delay, and (c) the timetable by which Respondent intends to implement these measures. If the parties can agree that the delay or anticipated delay has been or will be caused by circumstances beyond the reasonable control of Respondent, the time for performance hereunder shall be extended. The agreement to extend compliance must identify the provision

or provisions extended, the new compliance date or dates, and the additional measures Respondent must take to avoid or minimize the delay, if any. Failure of Respondent to comply with the notice requirements of this paragraph in a timely manner constitutes a waiver of Respondent's right to request an extension of time for compliance for those circumstances.

22. The Department, for and in consideration of the complete and timely performance by Respondent of all the obligations agreed to in this Order, hereby conditionally waives its right to seek judicial imposition of damages or civil penalties for the violations described above up to the date of the filing of this Order. This waiver is conditioned upon Respondent's complete compliance with all of the terms of this Order.

23. This Order is a settlement of the Department's civil and administrative authority arising under Florida law to resolve the matters addressed herein. This Order is not a settlement of any criminal liabilities which may arise under Florida law, nor is it a settlement of any violation which may be prosecuted criminally or civilly under federal law. Entry of this Order does not relieve Respondent of the need to comply with applicable federal, state, or local laws, rules, or ordinances.

24. The Department hereby expressly reserves the right to initiate appropriate legal action to address any violations of statutes or rules administered by the Department that are not specifically resolved by this Order.

25. Respondent is fully aware that a violation of the terms of this Order may subject Respondent to judicial imposition of damages, civil penalties up to \$15,000.00 per day per violation, and criminal penalties.

26. Respondent acknowledges and waives its right to an administrative hearing pursuant to sections 120.569 and 120.57, F.S., on the terms of this Order. Respondent also acknowledges and waives its right to appeal the terms of this Order pursuant to section 120.68, F.S.

27. Electronic signatures or other versions of the parties' signatures, such as .pdf or facsimile, shall be valid and have the same force and effect as originals. No modifications of

the terms of this Order will be effective until reduced to writing, executed by both Respondent and the Department, and filed with the clerk of the Department.

28. The terms and conditions set forth in this Order may be enforced in a court of competent jurisdiction pursuant to sections 120.69 and 403.121, F.S. Failure to comply with the terms of this Order constitutes a violation of section 403.161(1)(b), F.S.

29. This Order is a final order of the Department pursuant to section 120.52(7), F.S., and it is final and effective on the date filed with the Clerk of the Department unless a Petition for Administrative Hearing is filed in accordance with Chapter 120, F.S. Upon the timely filing of a petition, this Order will not be effective until further order of the Department.

30. Respondent shall publish the following notice in a newspaper of daily circulation in Gulf County, Florida. The notice shall be published one time only within 15 days of the effective date of the Order. Respondent shall provide a certified copy of the published notice to the Department within 10 days of publication.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
NOTICE OF CONSENT ORDER

The Department of Environmental Protection (Department) gives notice of agency action of entering into a Consent Order (Order) with CITY OF PORT ST. JOE pursuant to section 120.57(4), F.S. The Order addresses the odor and wastewater issues at Port St. Joe WWTP and collection system. The Order is available for public inspection during normal business hours, 8:00 a.m. to 5:00 p.m., Monday through Friday, except legal holidays, at the Department of Environmental Protection, Northwest District Office, 160 West Government St., Pensacola, FL 32502. The files are available electronically from the Department's Electronic Document Search Portal using Document Subject 23-0366,
<http://prodenv.dep.state.fl.us/DepNexus/public/searchPortal>.

Persons who are not parties to this Order, but whose substantial interests are affected by it, have a right to petition for an administrative hearing under sections 120.569 and 120.57,

F.S. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition concerning this Order means that the Department's final action may be different from the position it has taken in the Order.

The petition for administrative hearing must contain all of the following information:

- a) The name and address of each agency affected and each agency's file or identification number, if known;
- b) The name, address, any e-mail address, any facsimile number, and telephone number of the petitioner, if the petitioner is not represented by an attorney or a qualified representative; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests will be affected by the agency determination;
- c) A statement of when and how the petitioner received notice of the agency decision;
- d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- e) A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the agency's proposed action;
- f) A statement of the specific rules or statutes the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- g) A statement of the relief sought by the petitioner, stating precisely the action petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received) at the Department's Office of General Counsel, 3900 Commonwealth Boulevard, MS# 35, Tallahassee, Florida 32399-3000 or received via electronic correspondence at Agency_Clerk@floridadep.gov, within 21 days of receipt of this notice. A copy of the petition must also be mailed at the time of filing to the District Office at Northwest District Office, 160 West Government St., Pensacola, FL 32502. Failure to file a petition within the 21-day period constitutes a person's waiver of the right to request an administrative hearing and to participate as a party to this proceeding under sections 120.569 and 120.57, F.S. Before the deadline for filing a petition, a person whose substantial interests are affected by this Order may choose to pursue mediation as an alternative remedy under

section 120.573, F.S. Choosing mediation will not adversely affect such person's right to request an administrative hearing if mediation does not result in a settlement. Additional information about mediation is provided in section 120.573, F.S. and Rule 62-110.106(12), F.A.C.

31. Rules referenced in this Order are available at
<http://www.dep.state.fl.us/legal/Rules/rulelist.htm>

FOR THE RESPONDENT:

Jim Anderson, City Manager
City of Port St. Joe

Date

FOR DEPARTMENT USE ONLY

DONE AND ORDERED this _____ day of _____, 2023, in
_____, Florida.

STATE OF FLORIDA DEPARTMENT
OF ENVIRONMENTAL PROTECTION

Elizabeth Mullins Orr
Director
Northwest District

Filed, on this date, pursuant to section 120.52, F.S., with the designated Department Clerk,
receipt of which is hereby acknowledged.

Clerk

Date

Copies furnished to:
Lea Crandall, Agency Clerk
Mail Station 35

Exhibit A

In-Kind Projects

I. Introduction

Proposal

a. Within 60 days of the effective date of this Consent Order, or, of the Department's notification that applying civil penalties to an in-kind project is acceptable, Respondent shall submit, by certified mail, a detailed in-kind project proposal to the Department for evaluation. The proposal shall include a summary of benefits, proposed schedule for implementation and documentation of the estimated costs which are expected to be incurred to complete the project. These costs shall not include those incurred in developing the proposal or obtaining approval from the Department for the in-kind project.

Proposal Certification Form

b. The proposal shall also include a Certification by notarized affidavit from a senior management official for _____ (insert name of Respondent) who shall testify as follows:

My name is _____ (print or type name of senior management official) and do hereby testify under penalty of law that:

A. I am a person with management responsibilities for _____ (print or type name of Respondent) budget and finances. During the eighteen month period prior to the effective date of Consent Order OGC Case No.: _____ there has not been any transfer or use of funds obtained by the _____ (print or type name of Respondent) from the collection of sewer rates for any purpose not related to the management, operation, or maintenance of the Sewer System or to any capital improvement needs of the Sewer System.

B. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowingly submitting false information in this certification.

Sworn to and subscribed before me, by means of ☐ physical presence or ☐ online notarization, this ____ day of _____, 2023__ by

Personally, known or by Production of the following Identification _____

Notary Public, State of Florida

Printed/typed or stamped name:

My Commission Expires: _____

Commission/Serial No.: _____

Annual Certification Form

My name is _____ (print or type name of senior management official) and do

hereby testify under penalty of law that:

A. I am a person with management responsibilities for _____ (print or type name of Respondent) budget and finances. During the twelve month period immediately preceding the notary date on this Certification, there has not been any transfer or use of funds obtained by the _____ (print or type name of Respondent) from the collection of sewer rates for any purpose not related to the management, operation, or maintenance of the Sewer System or to any capital improvement needs of the Sewer System.

B. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowingly submitting false information in this certification.

Sworn to and subscribed before me, by means of ☐ physical presence or ☐ online notarization, this ____ day of _____, 2023__ by

Personally, known or by Production of the following Identification _____

Notary Public, State of Florida

Printed/typed or stamped name:

My Commission Expires: _____

Commission/Serial No.: _____

c. If the Department requests additional information or clarification due to a partially incomplete in-kind project proposal or requests modifications due to deficiencies with Department guidelines, Respondent shall submit, by certified mail, all requested additional information, clarification, and modifications within 15 days of receipt of written notice.

d. If upon review of the in-kind project proposal, the Department determines that the project cannot be accepted due to a substantially incomplete proposal or due to substantial deficiencies with minimum Department guidelines; Respondent shall be notified, in writing, of the reason(s) which prevent the acceptance of the proposal. Respondent shall correct and redress all the matters at issue and submit, by certified mail, a new proposal within 30 days of receipt of written notice. In the event that the revised proposal is not approved by the Department, Respondent shall make cash payment of the civil penalties as set forth in paragraph 12 above, within 30 days of Department notice.

e. Within 120 days of the effective date of this Consent Order, or, of the Department's notification that applying civil penalties to an in-kind project is acceptable Respondent shall obtain approval for an in-kind project from the Department. If an in-kind project proposal is not approved by the Department within 120 days of the effective date of this Consent Order, or, of the Department's notification that applying stipulated penalties to an in-kind project is acceptable then Respondent shall make cash payment of the civil penalties as set forth in paragraph 12 above, within 30 days of Department notice.

f. Within 180 days of obtaining Department approval for the in-kind proposal or in accordance with the approved schedule submitted pursuant to paragraph I(a) above, Respondent shall complete the entire in-kind project.

g. During the implementation of the in-kind project, Respondent shall place appropriate sign(s) at the project site indicating that Respondent's involvement with the project is the result of a Department enforcement action. Respondent may remove the sign(s) after the project has been completed. However, after the project has been completed Respondent shall not post any sign(s) at the site indicating that the reason for the project was anything other than a Department enforcement action.

h. In the event, Respondent fails to timely submit any requested information to the Department, fails to complete implementation of the in-kind project or otherwise fails to comply with any provision of this paragraph, the in-kind penalty project option shall be forfeited, and the entire amount of civil penalties shall be due from the Respondent to the Department within 30 days of Department notice. If the in-kind penalty project is terminated and Respondent timely remits the \$17,716.00 penalty, no additional penalties shall be assessed under paragraph 12 for failure to complete the requirement of this paragraph.

i. Within 15 days of completing the in-kind project, Respondent shall notify the Department, by certified mail, of the project completion and request a verification letter from the Department. Respondent shall submit supporting information verifying that the project was completed in accordance with the approved proposal and documentation showing the actual costs incurred to complete the project. These costs shall not include those incurred in developing the proposal or obtaining approval from the Department for the project.

j. If upon review of the notification of completion, the Department determines that the project cannot be accepted due to a substantially incomplete notification of completion or due to substantial deviations from the approved in-kind project; Respondent shall be notified, in writing, of the reason(s) which prevent the acceptance of the project. Respondent shall correct

and redress all the matters at issue and submit, by certified mail, a new notification of completion within 15 days of receipt of the Department's notice. If upon review of the new submittal, the Department determines that the in-kind project is still incomplete or not in accordance with the approved proposal, the in-kind penalty project option shall be forfeited, and the entire amount of civil penalty shall be due from the Respondent to the Department within 30 days of Department notice. If the in-kind penalty project is terminated and Respondent timely remits the \$17,716.00, no additional penalties shall be assessed under paragraph 12 for failure to complete the requirements of this paragraph.

Exhibit B

Table: City of Port St Joe WWTF Spills (June 1, 2019 – August 31, 2023)

Date	SWO Number	Location	Characteristic	Cause	Final Spill Volume (gal.)	Volume Recovered (gal.)	Affected Water Body
06/13/2019	NA	CR 382/Hwy 71	Untreated	Break in Line	850	400	NA
02/03/2020	2020-675	4023A Cape San Blas Road	Untreated	Break in Line	1,000	0	Gulf of Mexico (Class 3M)
09/15/2020	2020-4965	504 Monument Ave	Untreated	Hurricane Sally	25,200	0	St. Joseph's Bay (Class 2)
09/15/2020	2020-5686	411 Baltzell Avenue	Untreated	Break in Line (Hurricane Sally)	8,100	0	St. Joseph's Bay (Class 2)
06/16/2021	NA	Side of highway 98 across the road from Sunset Village	Untreated	Accident	200	0	NA
08/30/2021	2021-4832	1st Street & Long Avenue	Untreated	Equipment	1,500	500	St. Joseph's Bay (Class 2)
09/08/2021	2021-5040	602 Monument Ave	Untreated	Rain	2,000	0	St. Joseph's Bay (Class 2)
09/09/2021	2021-5067	455 CR 382	Untreated	Power	80,000	80,000	NA

11/04/2021	2021-6575	607 FL 30	Untreated	Contractor	250	0	St. Joseph's Bay (Class 2)
05/27/2022	NA	680 Flat Water W.	Untreated	Rain	400	400	NA
09/13/2022	NA	In the woods behind Highland View 29.867010/ - 85.330674	Untreated	Break In Line	700	0	NA

CITY OF PORT ST. JOE, FLORIDA
NOTICE TO RECEIVE SEALED BIDS
RFP 2023-15
2 New Nissan Pathfinder Rock Creek Vehicles

Sealed bids for City of Port St. Joe for two (2) New Nissan Pathfinder Rock Creek Vehicles will be received at City Hall, 305 Cecil G. Costin Sr. Blvd., Port St. Joe, Florida 32456 up until 3:00 PM EST, Friday, November 3, 2023. Bids will be publicly opened and acknowledged, Friday, November 3, 2023, at 3:05 PM EST, in the City Commission Conference Room.

Bids shall be submitted in a sealed envelope, plainly marked with bidder's name, address, date and time of opening, and "RFP Number 2023-15, 2 New Nissan Pathfinder Rock Creek Vehicles."

For questions concerning this project, please contact Chief Jake Richards at 850-258-2646.

The City of Port St. Joe reserves the right to accept or reject any and all Statements of Bids in whole or in part, to waive informalities in the process, to obtain new Statements of Bids, or to postpone the opening pursuant to the City's purchasing policies. Each Statement of Bid shall be valid to the City of Port St. Joe for a period of sixty (60) days after the opening.

The City of Port St. Joe is an Equal Opportunity, Affirmative Action Employer, and a Drug Free Work place.

NOTICE TO PUBLISHER: This legal ad is to appear on Thursday October 12, 2023, and Thursday October 19, 2023, in the Star Newspaper.

Please forward the original "Proof of Publication" and the invoice to:

The City of Port St. Joe
Attn: Charlotte Pierce, City Clerk
P.O. Box 278
Port St. Joe, FL 32457

Grants Updated- 11/7/23

Title	Amount	Status
NWFWMD/NERDA	\$971,850	Draft Stormwater Master Plan Complete. Water Quality portion is on hold.
FDEM	\$660,943 \$5,000	Hazard Mitigation. Elevation of (12) lift stations and switch gear for Washington Gym Generator Power. Submitted 3/6/20. 25% match. Approved 12/16/22
FEMA	1.4M	Clifford Sims Park Repairs due to Hurricane Michael. Approved 4/21/23
FDEP/SRF		
Historic Resources/Hurricane Michael	\$497,495	Centennial Bldg. Rehab. Grant awarded. The project has been re-bid.
CDBG-DR	\$9,996,000	Sewer Rehab- City Wide. Approved 5/21. CCTV work approved.
CDBG-DR	\$8,566,469	Police/Fire Station. Application not approved. Re-submitted in Round two of funding on 9/15/21. Application not approved.
CDBG-DR	\$4,987,330	Intelligent Stormwater on MLK-FAMU. Application not approved.
FDOT/SCOP	\$479,428	Madison Street from Garrison to Long Ave Re-surfacing. Approved. 100% Plan Set sent to FDOT
National Park System/Hurricane Michael	\$83,000	Washington Gym Rehabilitation. Submitted by UF. Approved and will be administered thru the State of Florida Division of Historical Resources
Historic Resources/Hurricane Michael	\$327,707	Cape San Blas Lighthouse Complex. The project has been re-bid.
USDA	\$4,000,000	Potential 65% loan/35% grant for new Government Complex. The project is on hold.
COVID-19 Rescue Plan	\$1,786,545	Grant Agreement signed 9/15/21. Funds received. \$1,000,000 allocated for 10 th Street Sports Complex & \$786,545 for Road Paving.
FDEO	\$675,426.00	Commercial District Waterline Replacement. Grant Approved 4/8/22. Phase I out for bids.
FDEP Water Protection Funds	\$965,000	System Wide Septic to Sewer for 175 connections. Grant Application approved 11/10/21. Accepting Applications for service.
FDEP Water Protection Funds	\$4,300,000	Beacon Hill Sewer. Grant Application Approved 11/9/21. The collection system is out for bids and the lift station is being constructed.
FDEP Water Protection Funds	\$1,834,401.60	Pipe Replacement under the 10 th Street Park. Grant Application submitted 7/15/21. Was not approved.
CDBG- DR Phase II	\$6,654,566	Road & Stormwater Repairs. Application submitted 9/15/21. Application not approved.

FDEP	\$218,895	Resilient Florida (Study of PSJ). Submitted 8/30/21, Working with UF.
FRDAP	\$150,000	Core Park Splash Pad & Restroom, 25% City Match. Submitted 8/27/23. Second Request.
FDEP	\$145,000	Wastewater Treatment Plant Feasibility Study, submitted 8/22. Was not Approved.
FDOT/SCOP	\$575,417.65	Application for re-surfacing Allen Memorial. Approved on 8/23/22 for the 2024 fiscal year.
Legislative Request Rep. Shoaf	\$500,000 \$2,000,000	Core Park Stage Field of Dreams, both submitted on 7/8/22 for Grants thru DEO
NOAA	\$280,000	Stormwater Management (H&H) Study, Approved 4/21/23
FDOT	\$100,000	Hwy 98 Beautification Grant, Approved 12/16/22. Coastal has completed the design.
Legislative Request 2023	\$1,200,000 \$1,500,000	Field of Dreams- Was not approved Road Paving, both submitted by Clark Smith approved in the 23/24 State Budget
FDOT/SCOP	\$497,055.44	Road Paving from Hwy 98 to MLK on Ave. C & D. Application submitted 3/23. Was not Approved
FDEP/SRF	\$102,000 Loan/\$98,000 Grant	Lead and Copper Service Line Inventory. Approved
FDEP/SRF	\$1,506,338 Loan/\$655,456 Grant	Downtown Water line Replacement Phase II. Approved, Application submitted on 11/2/23
Legislative Request 2023	\$6,000,000 \$2,000,000 \$50,000,000	Fire/Police Public Safety Facility Road Paving Sewer Plant Rehabilitation
Army Corps of Engineers	TBD	Stormwater Improvements, Application submitted on 10/18/23
Gulf Consortium	\$750,000	Signed the sub-grant agreement with Gulf County on 10/31/23 for the ESAD Purchase re-imbursement
Dept. of Commerce	\$2,000,000	Rural Infrastructure Fund, Workforce Housing Access Road. Application submitted 11/3/23

Historic Centennial Building

Historical Federal Subgrant

21.h.fh.900.012

Grant Amendment 1

Monolith - Revised restoration description of work	\$490,000.00
Grant Administration, National Register update, Architect costs	59, 495.00
<i>Total</i>	<i>\$549,495.00</i>
Less approved grant funds	\$497,495.00
Difference - Short	\$52,000.00

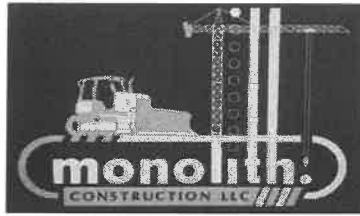
Cape San Blas Lighthouse Complex

Historical Federal Subgrant

21.h.fh.900.009

Grant Amendment 1

Monolith - Revised restoration description of work	\$329,028.09
Grant Administration, National Register update, Architect costs	57, 495.00
<i>Total</i>	<i>\$386,523.09</i>
Less approved grant funds	\$327,707.00
Difference - Short	\$58,816.09



M O N O L I T H C O N S T R U C T I O N
L L C

Monolith Construction - Panhandle LLC

524 1st Street

Port St Joe, FL 32456

(850) 247-1130

Office@Monolithgc.com

www.Monolithgc.com

CGC1527448

Project: Keepers Quarters

Address: Port Saint Joe Florida

Date: October 20, 2023

Description of Work

Elgin Cottage

No work Performed

Sleeping Beauty

- | | |
|--|--------------|
| 1. Construction clean and Final clean including Removal. | \$ 2,997.00 |
| 2. Equipment and Mobilization | \$ 16,371.59 |
| 3. Administration, Bonding and portolet | \$ 37,656.34 |
| 4. Sand all wood floors on inside of cottage including stairs. | \$ 28,771.50 |
| 5. Paint all floors to match existing | \$ 17,560.00 |
| 6. Paint entire inside walls and trim to include railing | \$ 34,796.00 |
| 7. Replace damaged rotten flooring and ceiling on interior | \$ 10,463.46 |
| 8. Replace rotten interior paneling and trim | \$ 7,658.83 |
| 9. Replace damaged wood decking on porch floor on right side | \$ 5,494.00 |
| 10. Replace damaged or missing interior railing pickets and secure railing | \$ 3,636.42 |

Keepers Quarters Continue:

11. Repair damaged window sashes and casing on 11 windows	\$ 66,883.40
12. Custom build and install shutters per plans	\$ 69,324.42
13. Replace rotten framing as needed at windows including casing	\$ 18,081.21
14. Temporary cover window openings including Masking and protection	\$ 9,333.92

TOTAL PROPOSAL QUOTE \$ 329,028.09

Thank you,

Chris Karagiannis
President

Terms for the following PRDB Members expire on 11/7/23.

Rish, Jay

Leslie, Rawlis

Likely, Minnie