

**City of Port St. Joe
Redevelopment Agency Board Special Meeting
August 13, 2024 at 11:00 A.M.**

**Steve Kerigan
Rex Buzzett
Eddie Fields
Scott Hoffman**

**Eric Langston
Brett Lowry
Linda Bullock
Marvin Davis**

PLEDGE OF ALLEGIANCE AND MOMENT OF SILENCE

ROLL CALL OF THE BOARD

CONSENT AGENDA:

July 2, 2024 Regular Meeting Minutes

Page 1-2

BUSINESS ITEMS

- **Amos Pittman Funding Request**
- **Citizens to be Heard**
- **Discussion by Board Members**
- **Motion to Adjourn**

Pages 3-12

***You are hereby notified that in accordance with Florida Statutes, you have the right to appeal any decision made by the Board with respect to any matter considered at the above referenced meeting. You may need to ensure that a verbatim record of the proceedings is made which may need to include evidence and testimony upon which the appeal is based.**

City of Port St. Joe
Redevelopment Agency Board
Regular Meeting
July 2, 2024

Minutes

Pledge of Allegiance and Moment of Silence

Roll Call of the Board

Present		Absent	
Board	Staff	Board	Staff
Eric Langston, Chairman	Jim Anderson	Rex Buzzett	
Linda Bullock	Charlotte Pierce	Brett Lowry	
Marvin Davis	Mike Lacour		
Steve Kerigan	Clint McCahill		
Eddie Fields * 11:07			
Scott Hoffman			

After ascertaining that a quorum was present, Chairman Langston called the meeting to order at 11:00 A.M.

Consent Agenda

Minutes, April 2, 2024, Regular Meeting:

A Motion was made by Scott Hoffman, second by Steve Kerigan, to approve the Minutes of the April 2, 2024, Meeting. All in favor; Motion carried 5-0.

Eddie Fields joined the meeting at 11:07 A.M.

Business Items

Financial Update

Mr. Lacour shared that all reporting is up to date.

2024 / 2025 Budget Update

Mr. Anderson reminded the Board that their Budget is due by December 31, 2024.

A discussion was held on funds to carry forward, noting that \$100,000 is currently earmarked for purchasing property, and the possibility of a pocket park.

Mr. Anderson shared how TIF dollars are determined and noted that the City's contribution for next year will be \$51,853.82 and \$89,517.65 should be received from Gulf County for a total of \$141,371.47, if the millage rate remains the same.

Chairman Langston requested that the PSJRA consider funding a company to maintain and beautify MLK on a recurring basis.

Washington High Museum AC Repair

A Motion was made by Eddie Fields, second by Linda Bullock, to pay the invoice from Philco in the amount of \$8,375 for the Washington High Museum AC Repair. All in favor; Motion carried 6-0.

Citizens to be Heard

Chester Davis asked that the PSJRA consider approaching Mrs. Gant about purchasing or leasing property that she owns on MLK Boulevard for a parking area; providing a Pocket Park on Avenue B to remove loitering from Avenue A, and work with the person considering a restaurant at the corner of Avenue A and MLK.

Discussion by Board Members

None of the Board Members had any other items to discuss.

A Motion was made by Steve Kerigan, second by Eddie Fields, to adjourn the meeting at 11:35 A.M.

Approved this _____ day of _____, 2024.

Eric Langston, PSJRA Chairman

Date

Charlotte M. Pierce, City Clerk

Date

Amos Pittman Jr.,
PO Box 5903
Tallahassee, FL 32341

Community Redevelopment Agency (CRA) Board
City of Port St Joe, FL

July 30, 2024

Subject: 170 Martin Luther King (MLK) Construction Project Fund Request

CRA Board, I hope this letter finds you all doing well. I am writing to request financial support in the amount of \$50,000 for the redevelopment of the MLK Corridor specifically, 170 Martin Luther King Construction Project.

The project, A 3,772 square feet plaza consisting of a restaurant, laundromat, corner store, and barbershop will significantly and positively impact the redevelopment of the MLK Corridor/North Port St Joe Community. See attached development plan drawings for a more detailed and descriptive concept of the project.

The Funds, will be used for the overall construction of the project. The project will be constructed by Wentra Construction Company. The company has asked for a deposit of \$50,000 to finalize engineered plans, conduct preliminary infrastructure work, and submit permitting applications to the building department. The funds will also be applied to the required construction loan deposit.

In conclusion, the project received unanimous support and approval from the City Planning, Development, and Review Board and the City Commission Board. It is my hope that the request for funding to make this project a reality will also receive unanimous support and approval from the CRA Board.

Sincerely,



Amos Pittman Jr.,
Property Owner

PERSON	TABLE	DATE	REVISION	DESCRIPTION

DRAWING TITLE: **SITE PLAN**

ENGINEER PROVIDED BY: **ENGINEER AHMAD HABIB**

OWNER SIGNATURE: _____

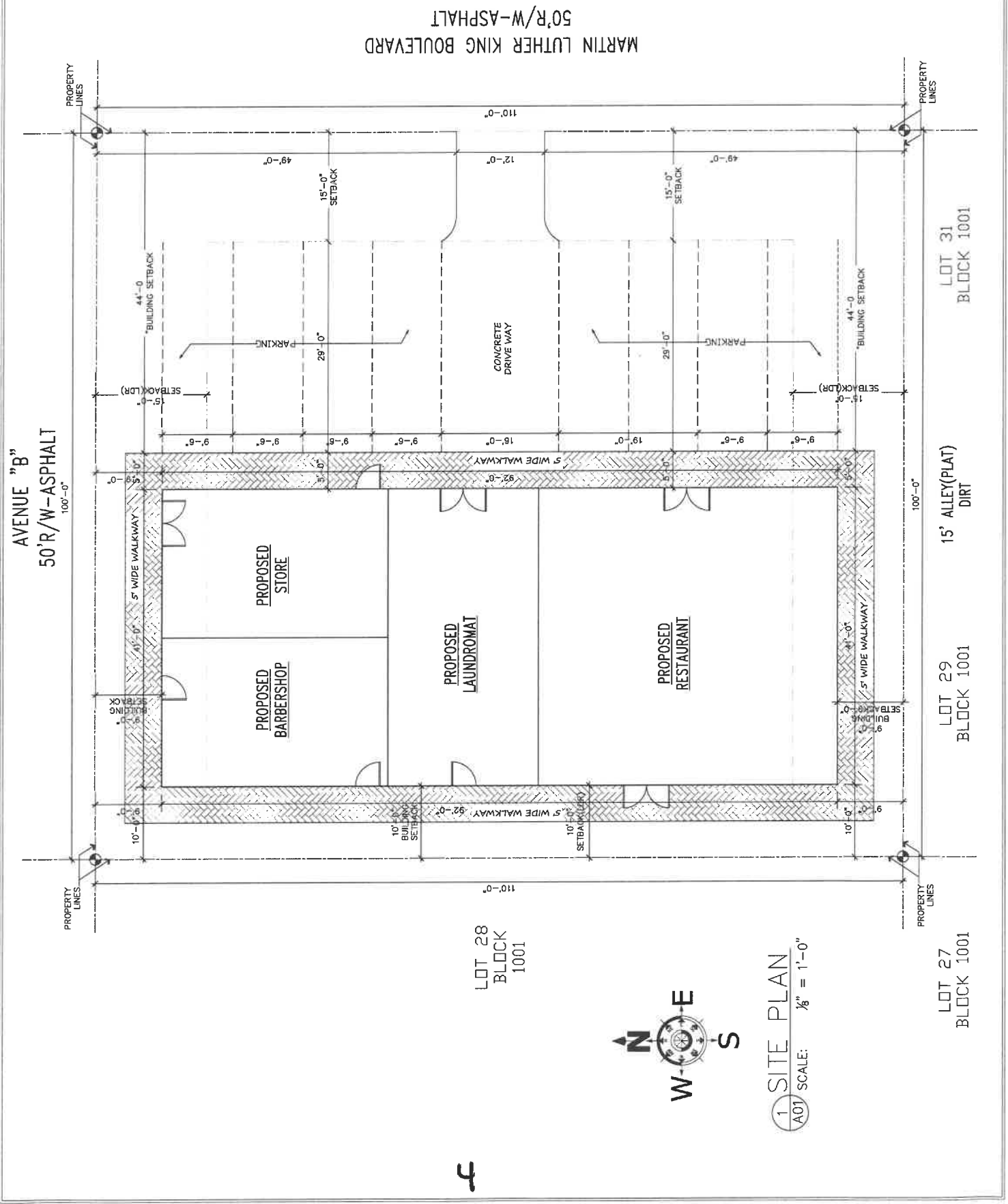
OWNER ID: **AMOS SR & AMOS JR PARTNERS**

PROJECT TITLE: **A COMMERCIAL SPACE FLOOR PLAN**
 170 MARTIN LUTHER KING BOULEVARD

DATE: **4/11/2023**

SCALE: **1/8" = 1'-0"**

SHEET NO: **A 01**



1 SITE PLAN
 A01 SCALE: 1/8" = 1'-0"

REVISION TABLE
 NUMBER DATE REVISION BY DESCRIPTION

DRAWING TITLE:
FLOOR PLAN

DRAWING PROVIDED BY:
 ENGINEER AHSAN HABIB

OWNER SIGNATURE:

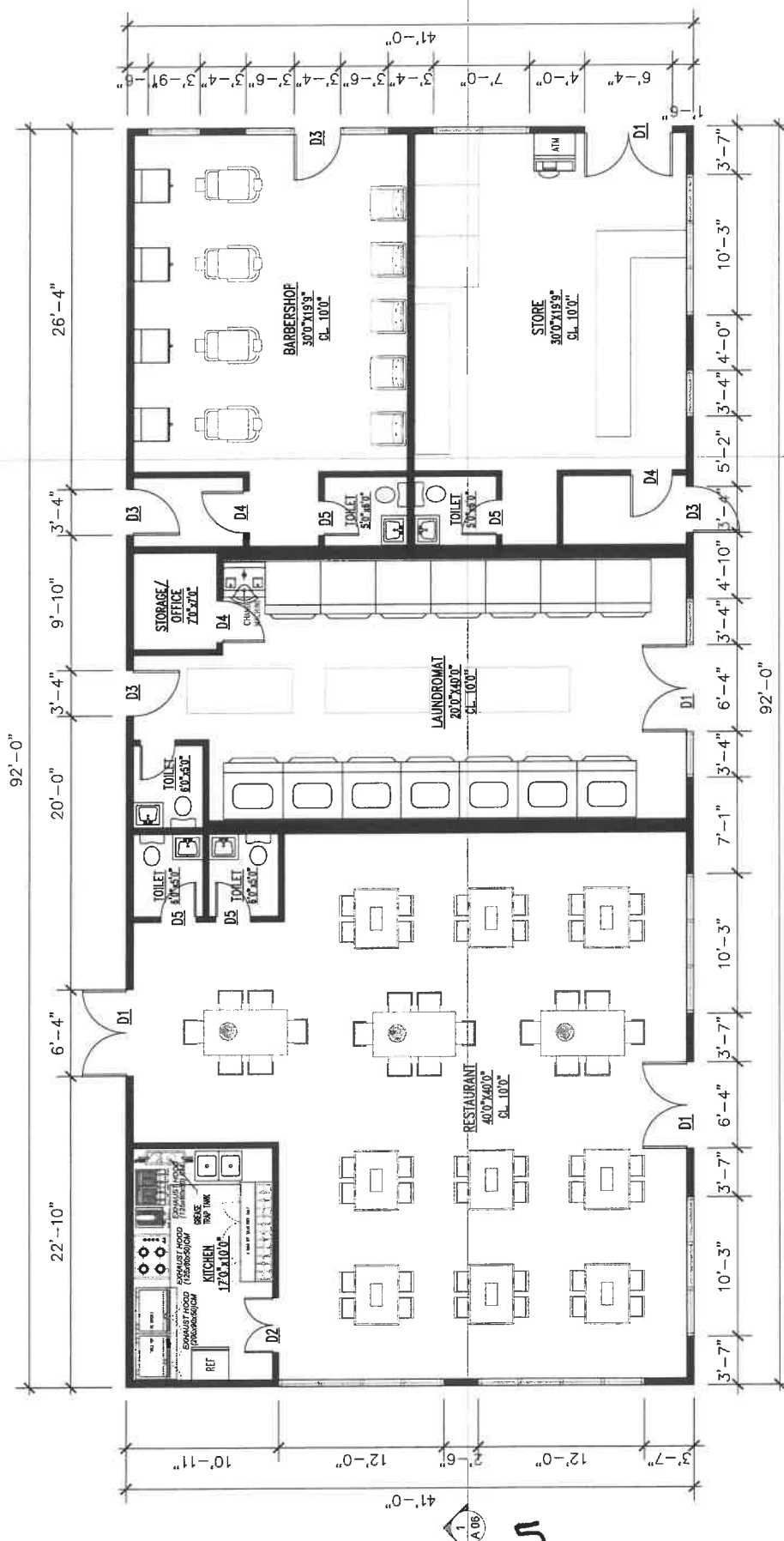
OWNER ID:
 AMOS SR & PITMAN

PROJECT TITLE:
**A COMMERCIAL
 SPACE FLOOR PLAN**
 170 MARTIN LUTHER KING BOULEVARD

DATE:
 4/11/2023

SCALE:
 3/16" = 1'-0"

SHEET NO:
A 02



DOOR SCHEDULE							
DOOR TAG	QUANTITY	WIDTH (INCH)	HEIGHT (INCH)	TYPE	MATERIAL	GLASS	LOCATION
D1	4	76	86	DOUBLE LEAF SWING	ALUMINUM	GLASS	RESTAURANT FRONT, REAR, LAUNDROMAT FRONT, STORE FRONT
D2	1	48	80	DOUBLE LEAF SWING	ALUMINUM	GLASS	KITCHEN
D3	4	40	86	SINGLE LEAF SWING	ALUMINUM	GLASS	LAUNDROMAT REAR, BARBERSHOP FRONT & REAR, STORE FRONT
D4	3	36	80	SINGLE LEAF SWING	ALUMINUM	GLASS	STORAGE, BARBERSHOP, STORE
D5	5	30	80	SINGLE LEAF SWING	WOOD / PLASTIC		BATHROOMS

NOTES:
 ALL STOREFRONT WINDOW HEIGHT 96 INCH AND WIDTH AS MENTIONED ON THE PLAN.
 ALL GLASS WINDOWS/ DOORS ARE HURRICANE RATED.

1 FLOOR PLAN
 SCALE: 3/16" = 1'-0"

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWING TITLE:
FOUNDATION PLAN

DRAWINGS PROVIDED BY:
ENGINEER AHMAD HARRIS

OWNER SIGNATURE:

OWNER ID:
AMOS JR PARTMAN

PROJECT TITLE:
A COMMERCIAL SPACE FLOOR PLAN
170 MARTIN LUTHER KING BOULEVARD

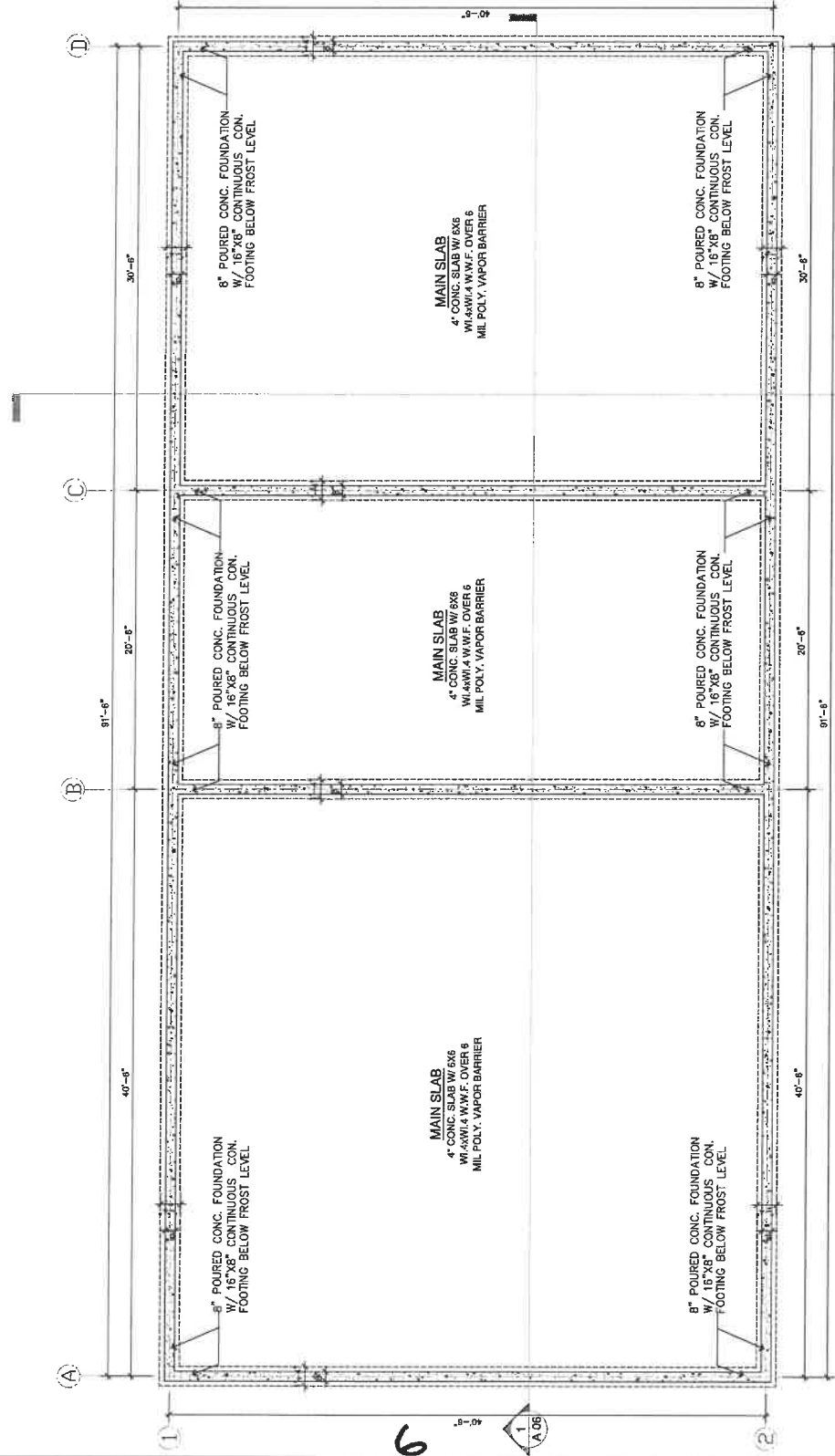
DATE:
4/11/2023

SCALE:
3/16" = 1'-0"

SHEET NO:
A 03

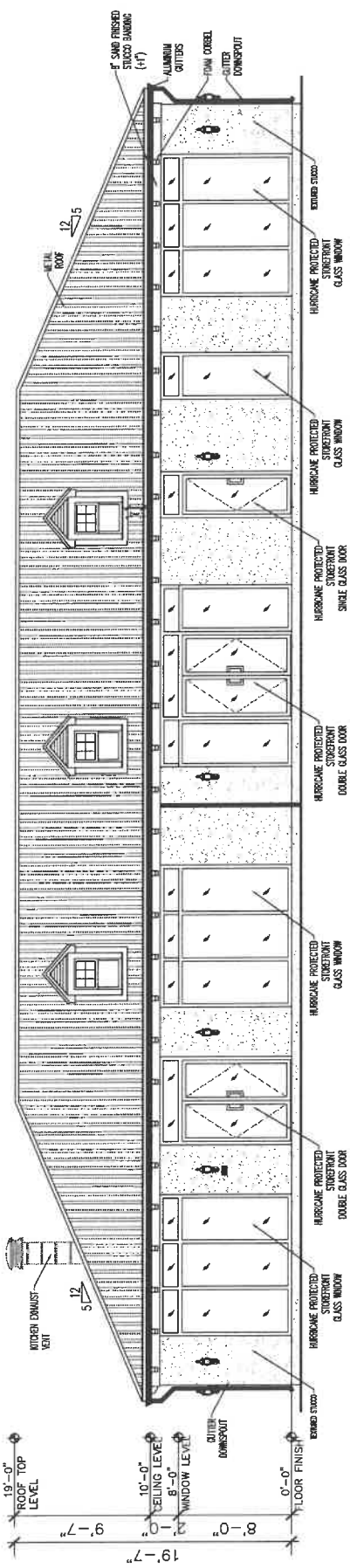
FOUNDATION NOTES

- FOOTINGS ARE TO BE ON UNDISTURBED LEVEL. SOLE BEARING CAPACITY TO MAINTAIN THE INDICATED FOOTING BELOW THE FINAL GRADE.
- SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF.
- ALL FOUNDATION WALLS TO BE CONCRETE.
- CONCRETE:
 - FOUNDATION WALLS & FOUNDATIONS: 2500 PSI
 - SLAB ON GROUND: 3000 PSI
 - SLAB ON GRADE: 3000 PSI
 - FOOTINGS: 3000 PSI
 - SLABS EXPOSED TO WEATHER: 3000 PSI
- USE PER I.C.C. (MIN. HEIGHT) CONTROL JOISTS AT 24 FT.
- CONCRETE JOINTS TO HAVE 3/4" IN. TYPICAL JOINTS.
- CONCRETE SHALL BE 4-#4'S GRADE 40, WELDED WIRE MESH TO BE #11-18.
- CONCRETE SHALL BE PLACED IN LAYERS OF 18 IN.
- COVER ENTIRE CRAWLSPACE WITH 5 MIL BLACK "MOONSHINE" VAPOR BARRIER.
- CONCRETE SHALL BE PLACED IN LAYERS OF 18 IN. WITH 1" MIN. CLEARANCE FROM ALL EXISTING FOUNDATION WALLS. PROVIDE 1" MIN. CLEARANCE FROM ALL EXISTING FOUNDATION WALLS AT THE ELECTRICAL PANEL.
- THE TOP OF FOOTING SHALL BE PROTECTED WITH 50# GAL. TYPICAL POLYURETHANE CHALK PAINT AS PER SEC. 0105 OF IBC.
- CONCRETE SHALL BE PLACED IN LAYERS OF 18 IN. WITH 1" MIN. CLEARANCE FROM ALL EXISTING FOUNDATION WALLS. PROVIDE 1" MIN. CLEARANCE FROM ALL EXISTING FOUNDATION WALLS AT THE ELECTRICAL PANEL.
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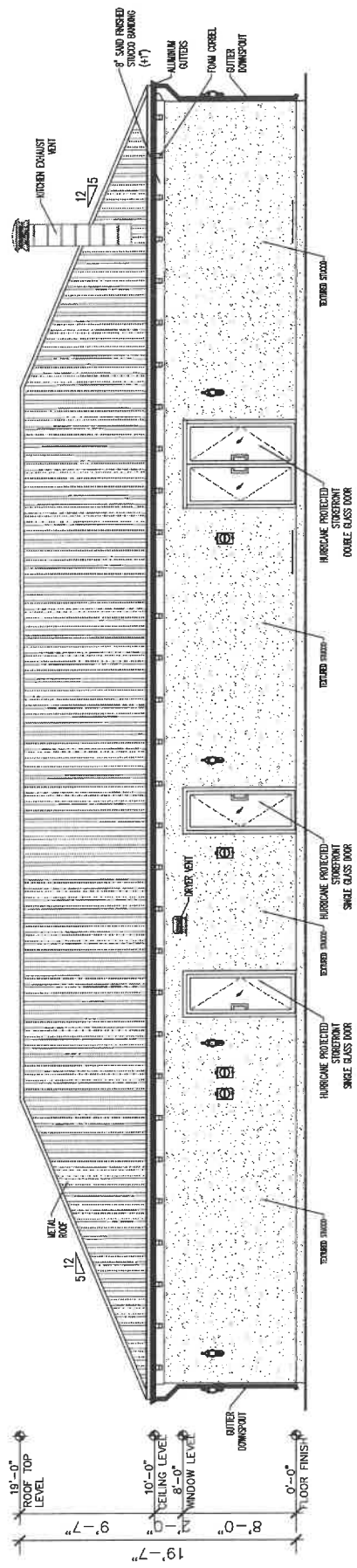


1 FOUNDATION PLAN
A03 SCALE: 3/16" = 1'-0"

6



1 FRONT ELEVATION
 A04 SCALE: 3/16" = 1'-0"



2 REAR ELEVATION
 A04 SCALE: 3/16" = 1'-0"

7

REVISION TABLE
 NUMBER DATE DESCRIPTION

RIGHT & LEFT ELEVATIONS

DRAWING TITLE:

ENGINEER: AHSAN HANIF

ENGINEER PROVIDED BY:

OWNER SIGNATURE:

OWNER ID:
 AHS SR &
 AHS JR PARTNER

PROJECT TITLE:
A COMMERCIAL
SPACE FLOOR PLAN
 170 MARTIN LUTHER KING BOULEVARD

DATE:

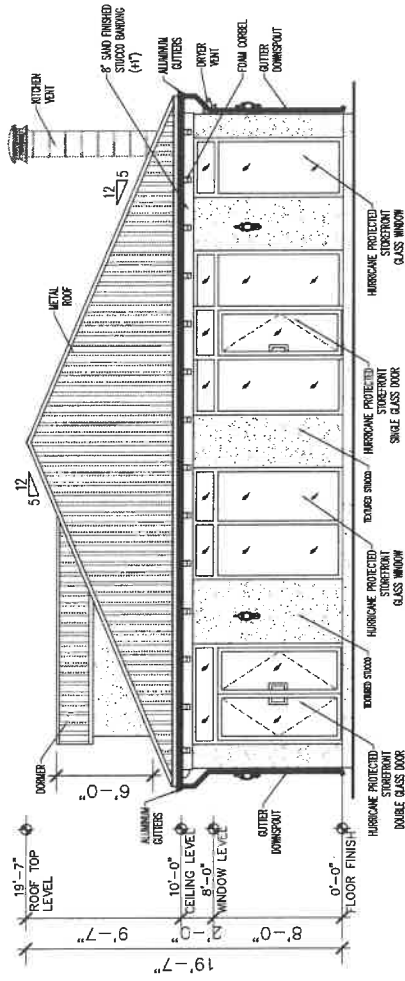
4/11/2023

SCALE:

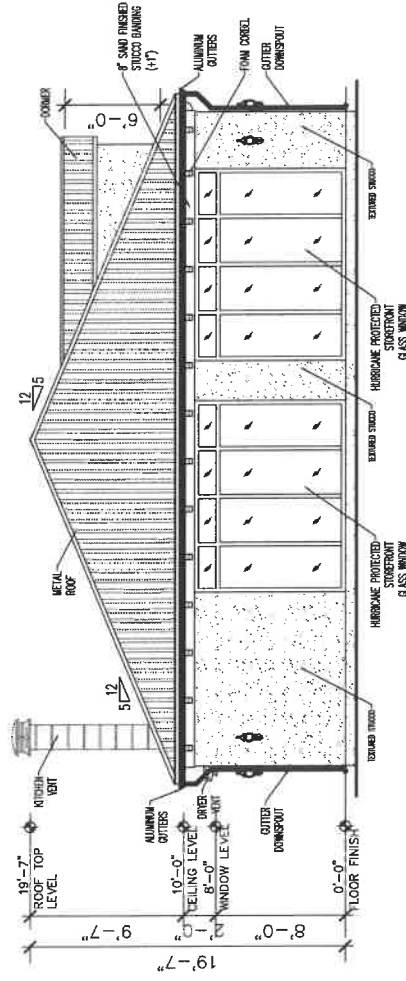
3/16" = 1'-0"

SHEET NO:

A 05



1 RIGHT ELEVATION
 A05 SCALE: 3/16" = 1'-0"



2 LEFT ELEVATION
 A05 SCALE: 3/16" = 1'-0"

REVISION TABLE

NUMBER	DATE	REVISION BY	DESCRIPTION

SECTIONS

ENGINEER PROVIDED BY:
ENGINEERS HASAN HABIB

OWNER SIGNATURE:

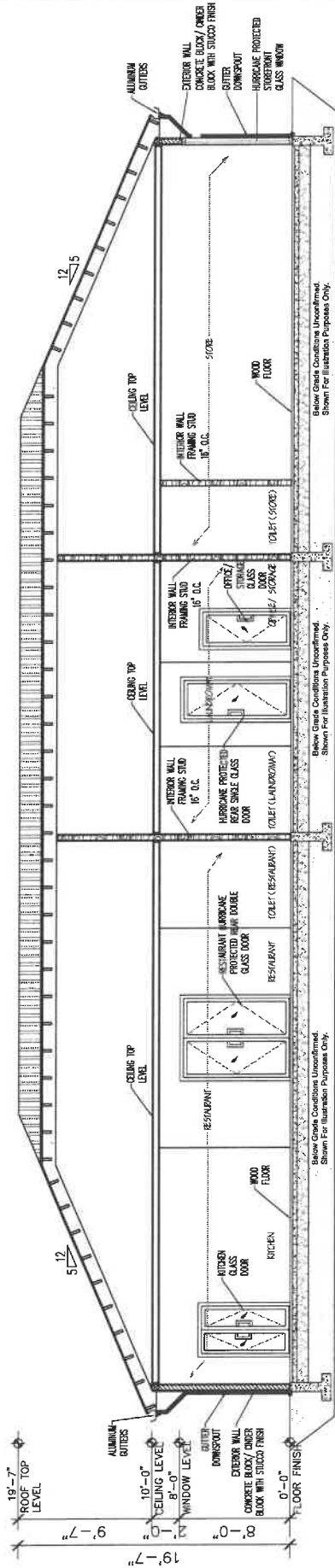
OWNER ID:
A05 SR &
A05 JR PITTMAN

PROJECT TITLE
A COMMERCIAL
SPACE FLOOR PLAN
170 MARTIN LUTHER KING BOULEVARD

DATE:
4/11/2023

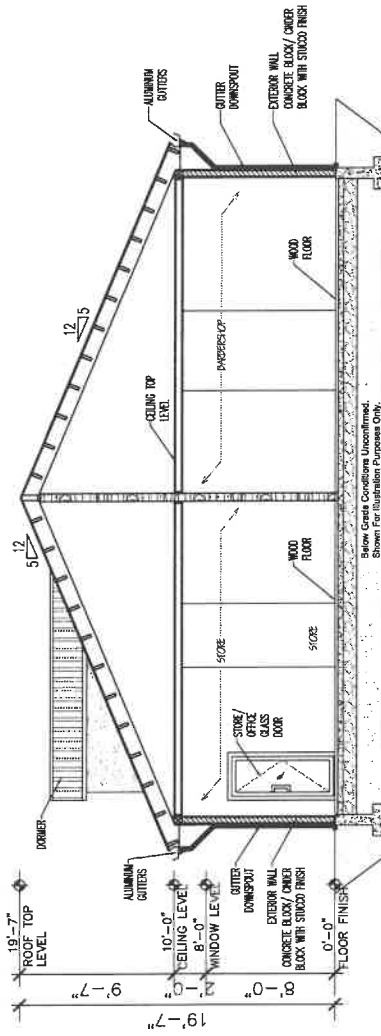
SCALE:
3/16" = 1'-0"

SHEET NO:
A 06



1 LONGITUDINAL SECTION
A06 SCALE: 3/16" = 1'-0"

6



2 CROSS SECTION
A06 SCALE: 3/16" = 1'-0"

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

PROJECT TITLE:
**A COMMERCIAL
SPACE FLOOR PLAN**

OWNER ID:
**AMOS SR &
AMOS JR PITTMAN**

OWNER SIGNATURE:

DRAWINGS PROVIDED BY:
ENGINEER ALKASAN HARBIB

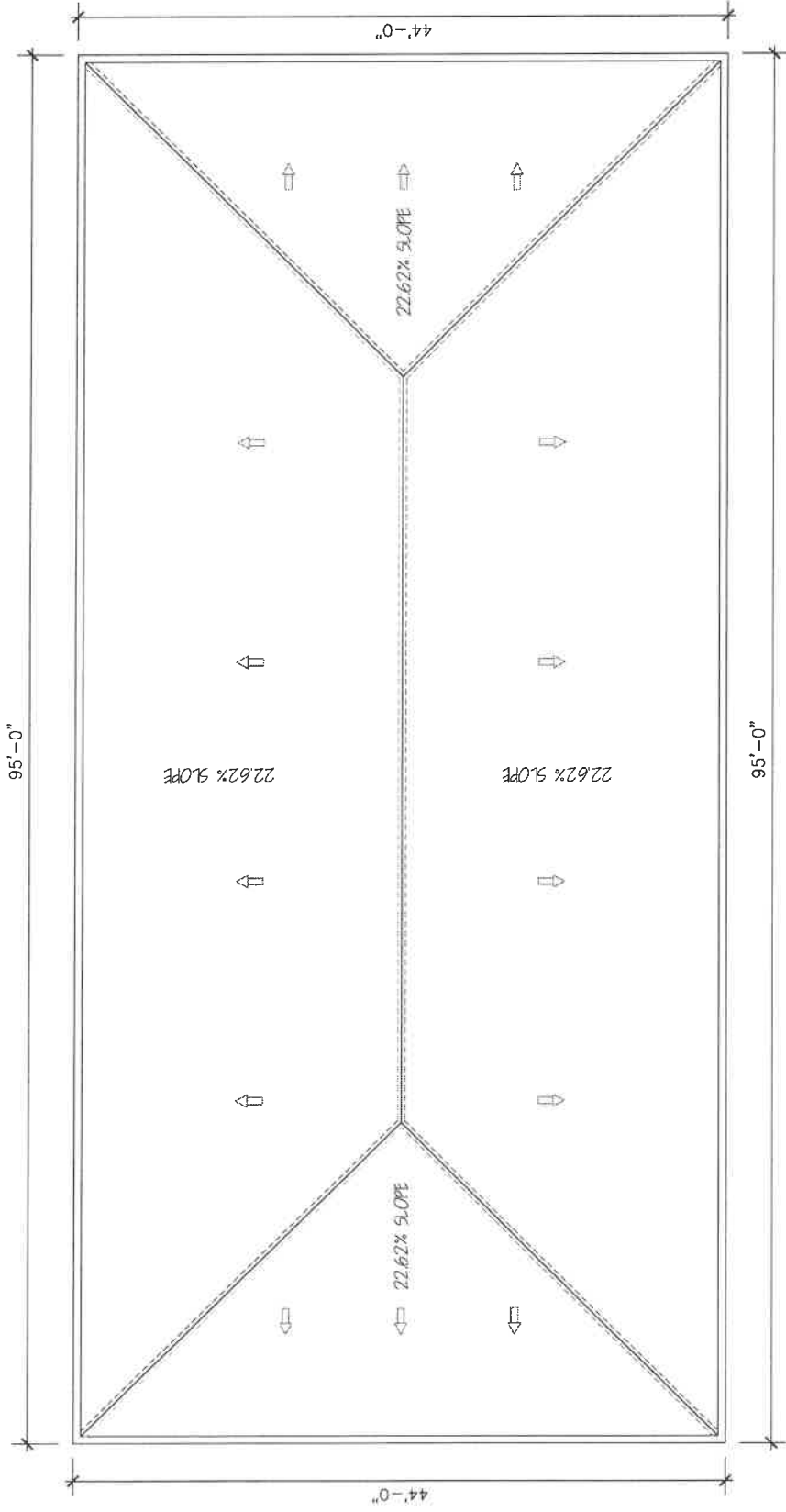
DRAWING TITLE:
ROOF PLAN

DATE:
4/11/2023

SCALE:
3/16" = 1'-0"

SHEET NO:
A 07

PROJECT TITLE:
170 MARTIN LUTHER KING BOULEVARD



1 ROOF PLAN
A07 SCALE: 3/16" = 1'-0"

REVISION TABLE	DATE	REVISION BY	DESCRIPTION

DRAWING TITLE:
ELECTRICAL PLAN

DRAWING PROVIDED BY:
ENGINEER AHMAD HADIB

OWNER SIGNATURE:

OWNER ID:
AMOS JR PITTMAN

PROJECT TITLE:
**A COMMERCIAL
SPACE FLOOR PLAN**

170 MARTIN LUTHER KING BOULEVARD

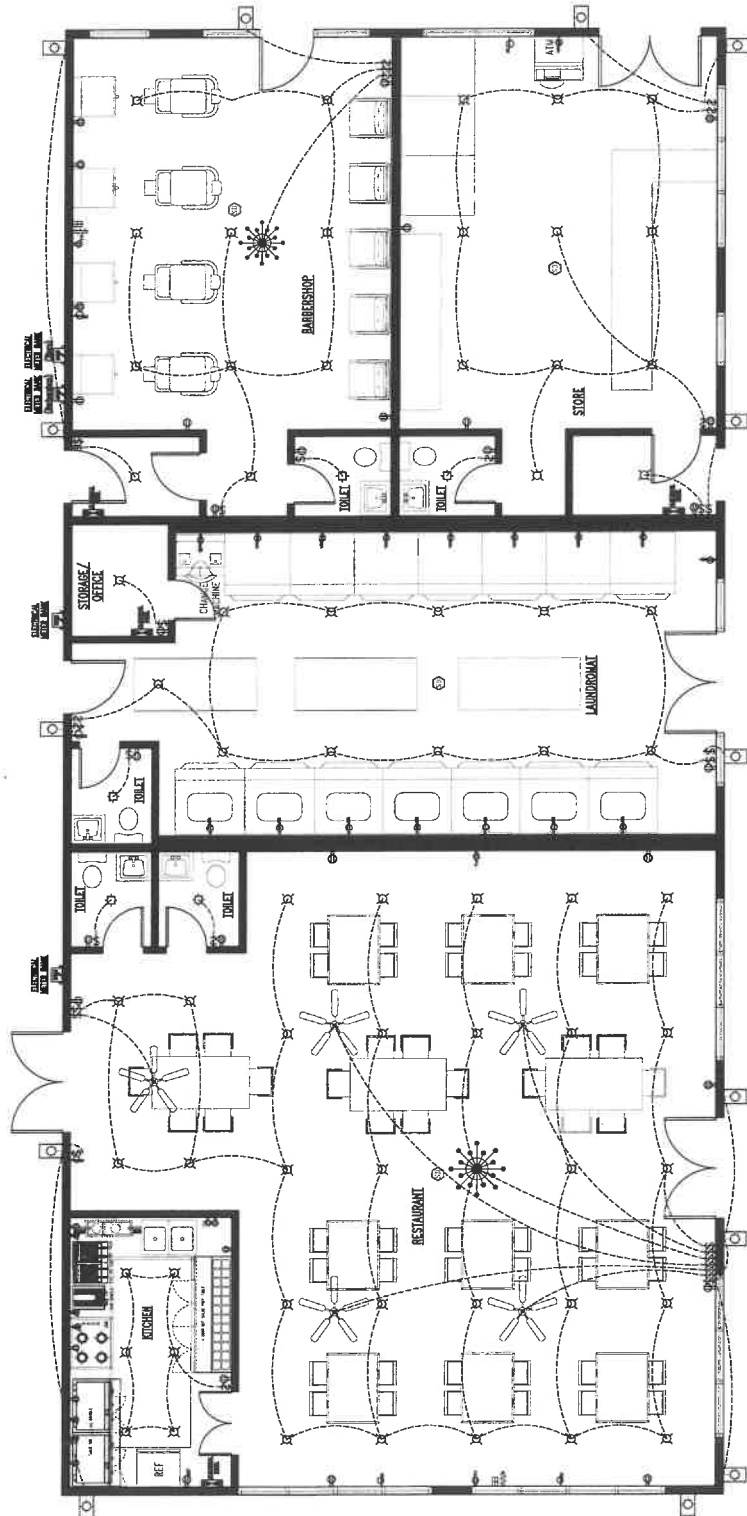
DATE:	4/11/2023
SCALE:	3/16" = 1'-0"
SHEET NO.:	A 08

ELECTRICAL LEGEND:

	Electrical Meter Bank
	Electrical Panel Board
	Single-Pole Switch
	Two-Way Switch
	Smoke Detector
	Duplex Receptacle 15A, 120V
	TV Receptacle 15A, 120V
	Weather & Data Receptacle 15-20A, 250V-200V
	Neutral Busbar at Switching
	E-Entrail
	AC Receptacle 20A, 200V
	Refrigerator Receptacle 20A, 120V
	Range Receptacle 20A, 200V
	Hood Receptacle 15-20A, 120V
	Water Heater Receptacle 20A, 200V
	W/DOOR Weather Proof 20A Duplex Receptacle
	Recessed Light
	Venti Light
	1000 lumen Light (Outdoor 0-4)
	Ceiling Fan
	Ceiling Fan with Light
	Chandelier Light
	Dimensioned cable route

NOTES:

1. EACH FAN/LIGHT POINT SHALL BE WIRED 12-3 WITH GROUND NMB.
2. EACH CHANDELLIER SHALL BE WIRED 12-3 WITH GROUND NMB.
3. INTER-CONNECTION BETWEEN SWITCH BOARD SHALL BE DONE 12-4 GROUND WIRE WITH NMB.
4. EACH FAN/CHANDELLIER SHALL BE OPERATED BY (ONE SWITCH+ONE DIMMER)



1 ELECTRICAL PLAN
A08 SCALE: 3/16" = 1'-0"

NO.	DATE	REVISED BY	DESCRIPTION

PLUMBING PLAN

DRAWING TITLE:

ENGINEER PROVIDED BY:

OWNER SIGNATURE:

OWNER ID:
AMOS SR &
AMOS JR PTLLAN

PROJECT TITLE
**A COMMERCIAL
SPACE FLOOR PLAN**
170 MARTIN LUTHER KING BOULEVARD

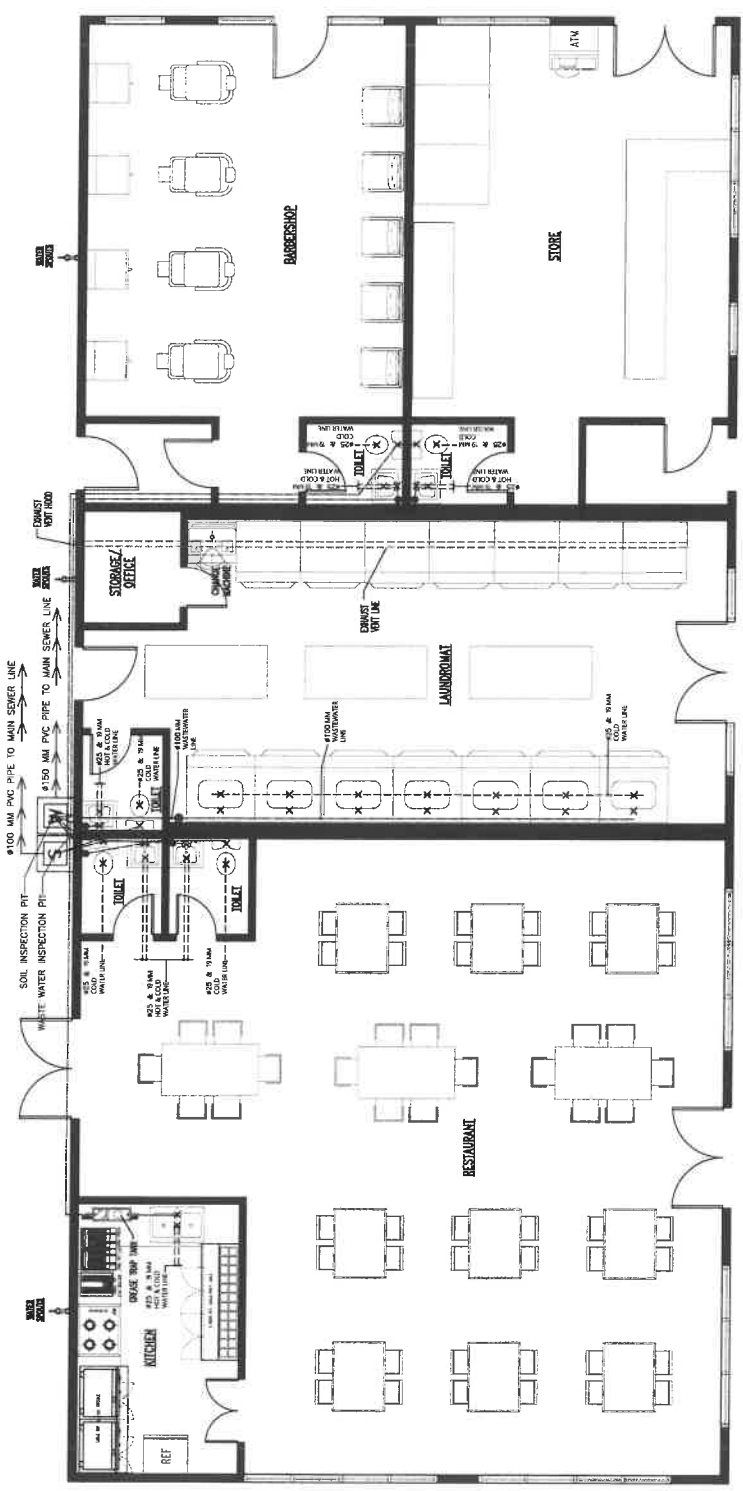
DATE: 4/11/2023

SCALE: 3/16" = 1'-0"

SHEET NO: **A 09**

LEGEND:

[Symbol]	WASH
[Symbol]	WATER CLOSET
[Symbol]	DRINKING FOUNTAIN SINK
[Symbol]	WATER SPOUTS
[Symbol]	CHARGE TRAP HANK
[Symbol]	SOIL PIT
[Symbol]	WHITE WATER PIT
[Symbol]	FLOOR DRAIN
[Symbol]	FRIGIDARY COIL DRAIN
[Symbol]	FRIGIDARY WASTEWATER DRAIN
[Symbol]	HOT WATER DRAIN
[Symbol]	WATER SUPPLY
[Symbol]	WATER DRAIN
[Symbol]	1/2" & 3/4" COLD WATER LINE
[Symbol]	1/2" & 3/4" HOT WATER LINE
[Symbol]	1" & 1 1/2" WASTEWATER LINE
[Symbol]	1" & 1 1/2" SOIL WATER LINE
[Symbol]	CHARGE TRAP LINE



1 PLUMBING PLAN
409 SCALE: 3/16" = 1'-0"

12