

**City of Port St. Joe
Planning, Development, and Review Board Special Meeting
July 14, 2025 4:00 P.M.**

**Jay Rish
Minnie Likely
Rawlis Leslie
Phil Earley**

**Hal Keels
Travis Burge
Chris Karagiannis**

PLEDGE OF ALLEGIANCE AND MOMENT OF SILENCE

ROLL CALL OF THE BOARD

CONSENT AGENDA:

June 3, 2025 Regular Meeting Minutes

Page 1-2

BUSINESS ITEMS

- **410 Reid Ave., Parcel #04794-000R, BKS Land Holdings LLC** **Pages 3-50**
 - **Special Exception for Density to Allow (2) Residential Units**
 - **Development Order Request**
- **Windmark Beach N. Phase 3 West Unit 1 Plat Approval 43 Lots** **Pages 51-55**
- **Ord. 617 Comprehensive Plan Update** **Pages 56-60**
- **Ord. 619 H & K Holdings- Small Scale & Rezoning Request** **Pages 61-91**
Parcel #04571-000R from Residential (County) to Residential R-3
- **Ord. 620 Gulf Coast State College- Rezoning Request** **Pages 92-103**
Parcel # 03040-150R from Commercial C-1 & Residential R-1 to Public

***You are hereby notified that in accordance with Florida Statutes, you have the right to appeal any decision made by the Board with respect to any matter considered at the above referenced meeting. You may need to ensure that a verbatim record of the proceedings is made which may need to include evidence and testimony upon which the appeal is based.**

City of Port St. Joe
Regular Meeting
Planning, Development & Review Board
June 3, 2025
Minutes

Pledge of Allegiance and Moment of Silence

Roll Call of the Board

Present		Absent	
Board	Staff	Board	Staff
Jay Rish	Charlotte Pierce	Phil Earley	Jim Anderson
Travis Burge	Mike Lacour	Minnie Likely	
Chris Karagiannis	Clinton McCahill		
Hal Keels	April Thompson		
Rawlis Leslie			

After ascertaining that a quorum was present, Chairman Rish called the meeting to order at 4 P.M. Phil Earley notified Mrs. Pierce that he would be unable to attend the meeting.

Consent Agenda

May 6, 2025, Regular Meeting Minutes

A Motion was made by Chris Karagiannis, second by Hal Keels, to approve the Minutes of the May 6, 2025, Regular Meeting. All in favor; Motion carried 5-0.

Business Items

Special Exception Request - Short Term Rental in an R-1 District, 314 Jones Homestead Road, Sean Garrett

Sean Garrett requested a Special Exception for his home to be used as a vacation / short term rental.

Chairman Rish shared that short term rentals in R-1 Districts are prohibited. After a discussion by the Board, a Motion was made by Hal Keels, second by Travis Burge to not recommend approval to the City Commission. All in favor; Motion carried 5-0. A Letter of Objection was received from a neighbor who was opposed to the request. Mr. Rish explained that Mr. Garret could request the exception from the City Commission because the PDRB did not have the authority to change the zoning.

Special Excepotion Request for the Side and Rear Setback – Betty Hardin, 1906 Cypress Avenue Parcel 05666-000R

Betty Hardin requested a 7' Special Exception to build a 10x16' shed and a 10x20' carport at the right rear side of her property. The Special Exception would allow a 7' encroachment into the setback for the shed. Previously, there was a shed in this location, but was destroyed by Hurricane Michael. The carport would be an additional structure for her truck. Neighbors adjoining her property and two across the street signed a statement that they did not object to the request.

A Motion was made by Rawlis Leslie, second by Travis Burge, to grant the request of Mrs. Hardin. All in favor; Motion carried 5-0.

Special Exception Request for the Rear Setback – Thomas and Joy Hayes, 208 Tenth Street, Parcel 05120-000R

Keith Ford, representing Thomas and Joy Hayes, requested they be allowed to expand their existing tool shed approximately 144 square feet to the rear of the property. There were no objections received from the neighbors.

A Motion was made by Travis Burge, second by Hal Keels, to grant the Special Exception Request of 7' into the rear setback. All in favor; Motion carried 5-0.

Citizens to be Heard

No one from the public wished to speak.

Discussion by Board Members

There were no issues to discuss by any of the Board Members.

Motion to Adjourn

There was no further business to come before the PDRB. A Motion was made by Hal Keels, second by Chris Karagiannis, to adjourn the meeting at 4:10 P.M.

Charlotte M. Pierce, City Clerk

Date

Jay Rish, Chairman

Date

**CITY OF PORT ST. JOE PLANNING DEPARTMENT
DEVELOPMENT ORDER APPLICATION PACKET**

INCOMPLETE SUBMITTALS WILL NOT BE REVIEWED

(The Building Department requires separate forms and fees to obtain building permits.)

NOTE: THE ADDRESS OF THE PROPERTY MUST BE POSTED PRIOR TO SUBMITTAL.

1. ✓ Two complete sets of plans, drawn to scale.
Including: A site plan with square feet of living, total square feet, impervious surface, and setbacks.
** Setbacks are measured from the closest overhang to property line**

A site plan showing any protected trees which will be removed from the property.
(Protected trees are any trees other than pine larger than 8" in diameter measure 54" from the base of the tree.)

2. _____ Development Order Packet
3. N/A New Address application
4. _____ Complete City water meter impact form
5. _____ Complete Driveway permit application

(Please refer to City of Port St. Joe's Land Development Regulations)

DESCRIPTION

Project Address 410 REIA AVE PORT ST. JOE, FL 32456

Lot Square Footage: 2698 Dwelling Square Footage: 5865

Driveway Square Footage: _____ Accessory Building Square Footage: _____

Pool Square Footage: _____ Patio/Deck Square Footage: _____

Setbacks: Front: _____ Left Side: _____

Rear: _____ Right Side: _____

Floor Area Ratio: _____ Lot Coverage: _____

Building Height in Feet: _____ Impervious Surface: _____

Landscape Buffers: (height x width) _____ Elevation: _____

Andre Lucas Staur III 712 Harbor Dr Port St Joe 3254 229 221 4058
Applicant Name Applicant Address Phone Number

[Signature]
Applicant Signature

8-22-2025
Date

U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

OMB Control No. 1660-0008
Expiration Date: 06/30/2026

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
A1. Building Owner's Name: <u>BKS LAND HOLDINGS</u>	Policy Number: _____
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>LOT 10, BLOCK "23" OF THE CITY OF PORT ST. JOE</u>	Company NAIC Number: _____
City: <u>410 REID AVENUE</u> State: <u>FL</u> ZIP Code: <u>32456</u>	
A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number: <u>LOT 10, BLOCK "23" OF THE CITY OF PORT ST. JOE / PARCEL ID 04794-000R</u>	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): <u>RESIDENTIAL</u>	
A5. Latitude/Longitude: Lat. <u>29.81259</u> Long. <u>-85.30301</u> Horiz. Datum: ☐ NAD 1927 ☒ NAD 1983 ☐ WGS 84	
A6. Attach at least two and when possible four clear color photographs (one for each side) of the building (see Form pages 7 and 8).	
A7. Building Diagram Number: <u>1B</u>	
A8. For a building with a crawlspace or enclosure(s): a) Square footage of crawlspace or enclosure(s): <u>N/A</u> sq. ft. b) Is there at least one permanent flood opening on two different sides of each enclosed area? ☐ Yes ☐ No ☒ N/A c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>N/A</u> Engineered flood openings: <u>N/A</u> d) Total net open area of non-engineered flood openings in A8.c: <u>N/A</u> sq. in. e) Total rated area of engineered flood openings in A8.c (attach documentation – see Instructions): <u>N/A</u> sq. ft. f) Sum of A8.d and A8.e rated area (if applicable – see Instructions): <u>N/A</u> sq. ft.	
A9. For a building with an attached garage: a) Square footage of attached garage: <u>N/A</u> sq. ft. b) Is there at least one permanent flood opening on two different sides of the attached garage? ☐ Yes ☐ No ☒ N/A c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>N/A</u> Engineered flood openings: <u>N/A</u> d) Total net open area of non-engineered flood openings in A9.c: <u>N/A</u> sq. in. e) Total rated area of engineered flood openings in A9.c (attach documentation – see Instructions): <u>N/A</u> sq. ft. f) Sum of A9.d and A9.e rated area (if applicable – see Instructions): <u>N/A</u> sq. ft.	
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION	
B1.a. NFIP Community Name: <u>CITY OF PORT ST. JOE</u>	B1.b. NFIP Community Identification Number: <u>120099</u>
B2. County Name: <u>GULF</u>	B3. State: <u>FL</u> B4. Map/Panel No.: <u>12045C 0333</u> B5. Suffix: <u>H</u>
B6. FIRM Index Date: <u>03/09/2021</u>	B7. FIRM Panel Effective/Revised Date: <u>03/09/2021</u>
B8. Flood Zone(s): <u>AE</u>	B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): <u>9.00'</u>
B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9: ☐ FIS ☒ FIRM ☐ Community Determined ☐ Other: _____	
B11. Indicate elevation datum used for BFE in Item B9: ☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____	
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No Designation Date: _____ ☐ CBRS ☐ OPA	
B13. Is the building located seaward of the Limit of Moderate Wave Action (LiMWA)? ☐ Yes ☒ No	

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: LOT 10, BLOCK "23" OF THE CITY OF PORT ST. JOE	FOR INSURANCE COMPANY USE
City: 410 REID AVENUE State: FL ZIP Code: 32456	Policy Number: _____
	Company NAIC Number: _____

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

- C1. Building elevations are based on: ☒ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.
- C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, A99. Complete Items C2.a–h below according to the Building Diagram specified in Item A7. In Puerto Rico only, enter meters.
Benchmark Utilized: **7.65 FEET** Vertical Datum: **NAVD 1988**

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other: _____

Datum used for building elevations must be the same as that used for the BFE. Conversion factor used? ☐ Yes ☒ No

If Yes, describe the source of the conversion factor in the Section D Comments area.

Check the measurement used:

- | | | |
|---|-------------|--|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor): | 10.0 | ☒ feet ☐ meters |
| b) Top of the next higher floor (see Instructions): | N/A | ☐ feet ☐ meters |
| c) Bottom of the lowest horizontal structural member (see Instructions): | N/A | ☐ feet ☐ meters |
| d) Attached garage (top of slab): | N/A | ☐ feet ☐ meters |
| e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area): | 10.0 | ☒ feet ☐ meters |
| f) Lowest Adjacent Grade (LAG) next to building: ☒ Natural ☐ Finished | 8.2 | ☒ feet ☐ meters |
| g) Highest Adjacent Grade (HAG) next to building: ☒ Natural ☐ Finished | 8.3 | ☒ feet ☐ meters |
| h) Finished LAG at lowest elevation of attached deck or stairs, including structural support: | N/A | ☐ feet ☐ meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by state law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No

☐ Check here if attachments and describe in the Comments area.

Certifier's Name: **JAMES T. RODDENBERRY** License Number: **4261**

Title: **PRESIDENT / OWNER**

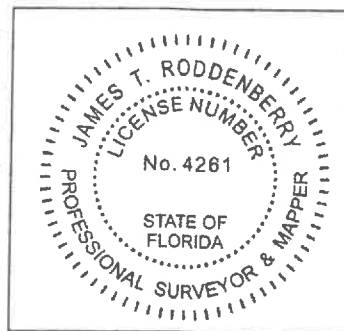
Company Name: **THURMAN RODDENBERRY & ASSOCIATES, INC.**

Address: **125 SHELDON STREET/ P.O. BOX 100**

City: **SOPCHOPPY** State: **FL** ZIP Code: **32358**

Telephone: **(850) 962-2538** Ext.: _____ Email: **thurman@trasurveying.com**

Signature: **JAMES T RODDENBERRY** Digitally signed by JAMES T RODDENBERRY
Date: 2025.05.08 14:53:55 -04'00' Date: **05/08/2025**



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including source of conversion factor in C2; type of equipment and location per C2.e; and description of any attachments):

JOB# 22-162 PC

SITE BENCHMARK IS A NAIL AND CAP (#7160) SET IN CONCRETE SIDEWALK NEAR BRICK PAVERS AT ELEVATION 7.65 FEET NAVD 1988.

C2a & C2e ESTABLISHED BY ADDING 1 FT TO THE BASE FLOOD ELEVATION PER COUNTY REQUIREMENTS.

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
LOT 10, BLOCK "23" OF THE CITY OF PORT ST. JOE

City: 410 REID AVENUE

State: FL

ZIP Code: 32456

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION E – BUILDING MEASUREMENT INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO, ZONE AR/AO, AND ZONE A (WITHOUT BFE)

For Zones AO, AR/AO, and A (without BFE), complete Items E1–E5. For Items E1–E4, use natural grade, if available. If the Certificate is intended to support a Letter of Map Change request, complete Sections A, B, and C. Check the measurement used. In Puerto Rico only, enter meters.

Building measurements are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

E1. Provide measurements (C.2.a in applicable Building Diagram) for the following and check the appropriate boxes to show whether the measurement is above or below the natural HAG and the LAG.

a) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (C2.b in applicable Building Diagram) of the building is: _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E3. Attached garage (top of slab) is: _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is: _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge

☐ Check here if attachments and describe in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Telephone: _____ Ext.: _____ Email: _____

Signature: _____ Date: _____

Comments: _____

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
LOT 10, BLOCK "23" OF THE CITY OF PORT ST. JOE

City: 410 REID AVENUE State: FL ZIP Code: 32456

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION G – COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when:

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.a. ☐ A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone AR/AO, or when item E5 is completed for a building located in Zone AO.
- G2.b. ☐ A local official completed Section H for insurance purposes.
- G3. ☐ In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H.
- G4. ☐ The following information (Items G5–G11) is provided for community floodplain management purposes.
- G5. Permit Number: _____ G6. Date Permit Issued: _____
- G7. Date Certificate of Compliance/Occupancy Issued: _____
- G8. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G9.a. Elevation of as-built lowest floor (including basement) of the building: _____ ☐ feet ☐ meters Datum: _____
- G9.b. Elevation of bottom of as-built lowest horizontal structural member: _____ ☐ feet ☐ meters Datum: _____
- G10.a. BFE (or depth in Zone AO) of flooding at the building site: _____ ☐ feet ☐ meters Datum: _____
- G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: _____ ☐ feet ☐ meters Datum: _____
- G11. Variance issued? ☐ Yes ☐ No If yes, attach documentation and describe in the Comments area.

The local official who provides information in Section G must sign here. I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.

Local Official's Name: _____ Title: _____

NFIP Community Name: _____

Telephone: _____ Ext.: _____ Email: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Comments (including type of equipment and location, per C2.e; description of any attachments; and corrections to specific information in Sections A, B, D, E, or H):

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
LOT 10, BLOCK "23" OF THE CITY OF PORT ST. JOE

City: 410 REID AVENUE State: FL ZIP Code: 32456

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION H – BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). *Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.*

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) For Building Diagrams 1A, 1B, 3, and 5–8. Top of bottom _____ ☐ feet ☐ meters ☐ above the LAG floor (include above-grade floors only for buildings with crawlspaces or enclosure floors) is:

b) For Building Diagrams 2A, 2B, 4, and 6–9. Top of next _____ ☐ feet ☐ meters ☐ above the LAG higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is:

H2. Is all Machinery and Equipment servicing the building (as listed in Item H2 instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H instructions) for the appropriate Building Diagram?

☐ Yes ☐ No

SECTION I – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. *The statements in Sections A, B, and H are correct to the best of my knowledge. Note: If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.*

☐ Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Telephone: _____ Ext.: _____ Email: _____

Signature: _____ Date: _____

Comments: _____

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11
BUILDING PHOTOGRAPHS

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
LOT 10, BLOCK "23" OF THE CITY OF PORT ST. JOE

City: **410 REID AVENUE** State: **FL** ZIP Code: **32456**

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

Photo One

Photo One Caption: **PHOTOS TAKEN**

Clear Photo One

Photo Two

Photo Two Caption:

Clear Photo Two

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11
BUILDING PHOTOGRAPHS

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
LOT 10, BLOCK "23" OF THE CITY OF PORT ST. JOE

City: **410 REID AVENUE** State: **FL** ZIP Code: **32456**

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

Photo Three

Photo Three Caption:

Clear Photo Three

Photo Four

Photo Four Caption:

Clear Photo Four

EPCI
PORT ST JOE BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

DATE: 5 Permit # _____ Permit Fee _____

OWNER'S NAME: BKS Land Holdings LLC

ADDRESS: 4400 North Creek Ct

CITY, STATE & ZIP CODE: Albany GA 31721 PHONE # 229-809-7179

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: Harbor Enterprises Construction LLC

ADDRESS: 12921 US Hwy 19

CITY, STATE & ZIP CODE: Thomasville GA PHONE # 229 221 4058

STATE LICENSE NUMBER: CDe 1263426 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 410 Reed Street

PROPOSED USE OF SITE: Commercial

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
YES ☒ NO

PROPERTY PARCEL ID # 04794-000R

LEGAL DESCRIPTION OF PROPERTY: _____

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: MANNY HAKHAMEVESHI

ADDRESS: 12935 Alcosta Blvd. Unit 1435 CITY, STATE & ZIP: San Ramon, Ca

MORTGAGE LENDER'S NAME: _____ 94583

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

___ Single Family ___ Townhouse ☒ Commercial ___ Industrial
___ Duplex ___ Swimming Pool ___ Storage ___ Sign
___ Multi-Family ___ Demolition ___ Other
___ Addition, Alteration or Renovation to building. _____

Distance from property lines: Front _____ Rear _____ L. Side _____
R. Side _____
Cost of Construction \$ 650,000 Square Footage _____
EPI _____ Flood Zone _____ Lowest Floor Elevation _____
Area Heated/Cooled _____ # Of Stories _____ # Of Units _____
Type of Roof _____ Type of Walls _____ Type of Floor _____
Extreme Dimensions of: Length _____ Height _____ Width _____

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The Port St. Joe Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

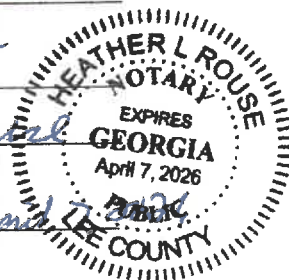
OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

[Signature]
Signature of Owner or Agent

Date: 5/15/25

[Signature]
Notary as to Owner or Agent

My Commission expires: April 7, 2026



[Signature]
Signature of Contractor

Date: 5/18/25

[Signature]
Notary as to Contractor

My Commission expires: 8/18/28



APPLICATION APPROVED BY: _____

BUILDING DEPARTMENT

June 9, 2025

Kyle W. Nichols
BKS Land Holdings, LLC
404-432-8756
Kyle@LHNCPA.com

Port St. Joe Building Department
1002 10th Street
Port St. Joe, FL 62456

RE: Request for Special Exception to Residential Density under LDR Sec. 3.16
Property Address: 410 Reid Avenue, Port St. Joe, FL

Dear Port St. Joe Building Department,

I am writing to formally request a special exception to the residential density limitation outlined in **Land Development Regulation (LDR) Section 3.16** for the property located at **410 Reid Avenue**, which lies within the **Mixed Use District**.

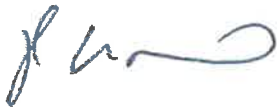
The subject property is approximately **2,700 square feet (0.062 acres)**. Under the current provisions of LDR Sec. 3.16, the maximum allowable residential density is **15 units per acre**, which equates to approximately **0.93 units** for a parcel of this size. We respectfully request approval to allow for **two residential units** on the property.

This request supports the intent of the Mixed Use District to promote a high-quality environment for living, working, and visiting; encourage a mix of uses; and facilitate compact, pedestrian-friendly development. We believe that permitting two residential units on this site will help meet local housing needs while remaining compatible with the district's vision and adjacent properties.

Importantly, our building plans include provisions for **two on-site parking spaces**, ensuring that the additional residential unit will not adversely impact existing parking availability in the area. We are committed to maintaining harmony with the surrounding infrastructure and minimizing any potential burden on public resources.

If additional documentation or a formal application is required, we are happy to provide it and comply with all procedural requirements. Thank you for your time and consideration. Please feel free to contact me at 404-432-8756 or Kyle@LHNCPA.com if you have any questions or need further information.

Sincerely,



Kyle W. Nichols

Member
BKS Land Holdings, LLC

**CITY OF PORT ST. JOE
SPECIAL EXCEPTION REQUEST APPLICATION**

Property Address: 410 Reid Ave, Port St. Joe, FL Zoning: _____

Property Owner: BKS Landholdings LLC Phone: 404-432-8756

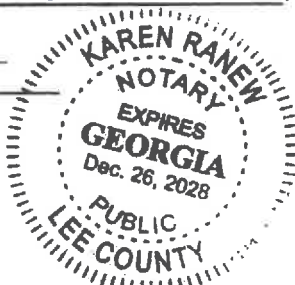
Mailing Address: 4400 North Creek Ct City, State, and Zip: Albany, GA 31707

Parcel Number: 04794-000R Applicant if different: _____

[Signature]
Owner signature

Swore to and subscribed before me this 5th day of June 2025. Personally known or
produced identification GADL.

[Signature]
Signature of Notary Public



PUBLIC NOTICE

A SIGN WILL BE POSTED FOR FIFTEEN DAYS ON THE PROPERTY SEEKING THE SPECIAL EXCEPTION
AND A NOTICE WILL BE PUBLISHED IN THE LOCAL NEWSPAPER.

APPLICATION REQUIREMENTS:

Application Fee - \$300

A letter indicating the section of the LDR under which special exception is being requested

Legal Description of Property

Copy of the Deed

Copy of the Survey

Site plan of the proposed improvements

[Signature]
Owner Signature

6/5/25
Date

Applicant Signature

Date

THIS INSTRUMENT PREPARED BY:
Charles A. Costin, Esquire
413 Williams Avenue
Port St. Joe, Florida 32456

Parcel ID# 04794-000R

WARRANTY DEED

THIS WARRANTY DEED made the 19 day of July, 2022, by

DARREN WHITE
11610 Signal Avenue
Albuquerque, New Mexico 87122

hereinafter called the grantor, to

BKS LAND HOLDINGS, LLC, a Georgia limited liability company
4400 Northcreek Ct
Albany, Georgia 31721

hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in **Gulf County, Florida**, to wit:

Lot 10, in Block 23 according to the official map of the City of Port St. Joe, Florida, as the same appears of record in the office of the Clerk of the Circuit Court of Gulf County, Florida.

SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS OF RECORD.

PROPERTY IS NOT THE HOMESTEAD OF THE GRANTOR.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021.

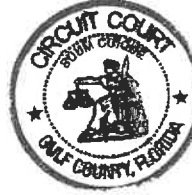
IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
in our presence:

Andrea Perea
Witness
Printed Name: Andrea Perea

Darren White
DARREN WHITE

Jowanda Garcia
Witness
Printed Name: Jowanda Garcia



State of New Mexico
County of Bernalillo

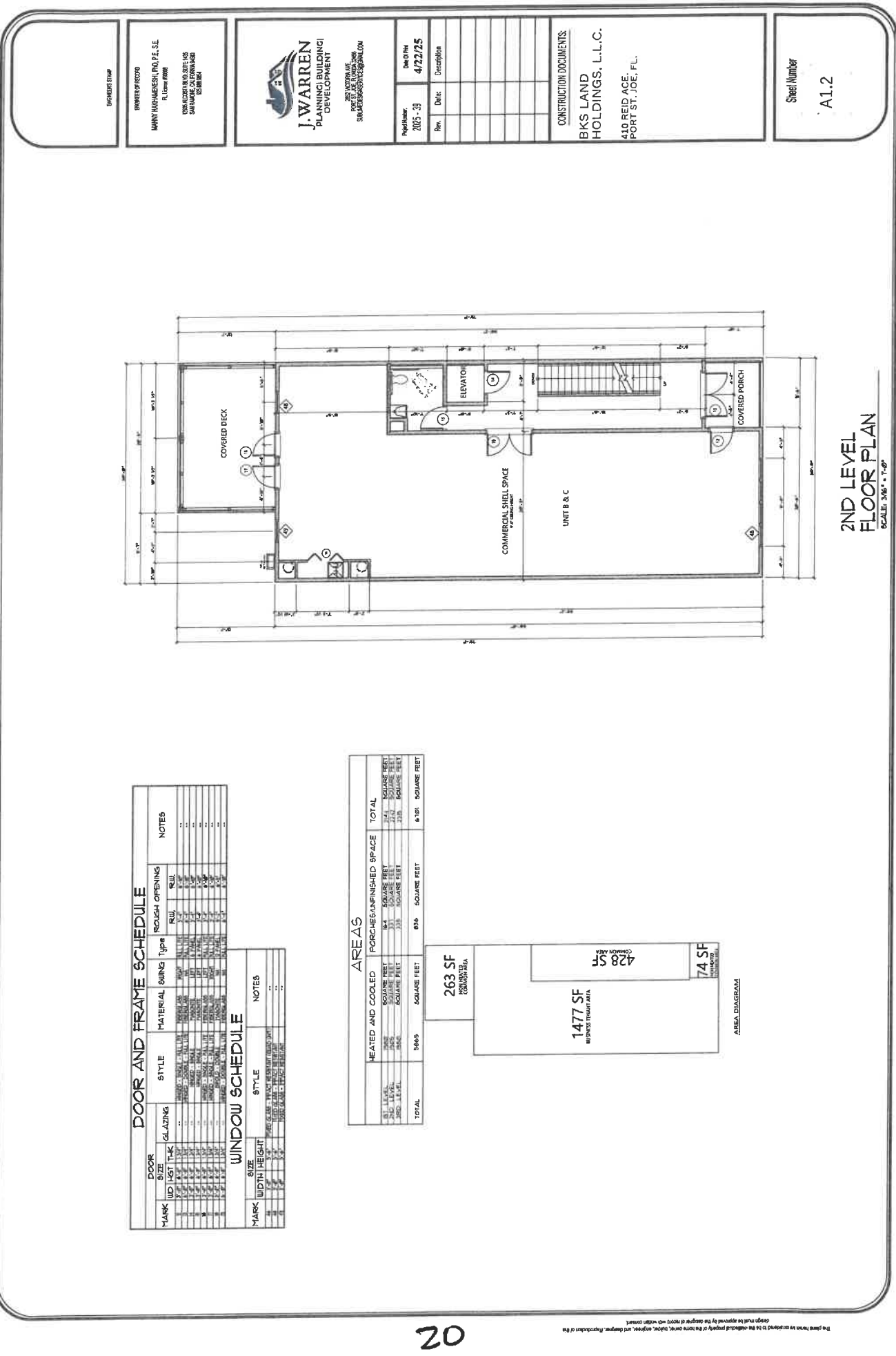
The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 15th day of July, 2022 by **DARREN WHITE**, who is personally known to me or has produced _____ as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 15th day of July, 2022.



Holly L. Huddle
Notary Public
My Commission Expires:
Commission No.:

RE: WHITE/EXCEL



2ND LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"

Sheet Number
A1.2

CONSTRUCTION DOCUMENTS
BKS LAND HOLDINGS, L.L.C.
410 REID AVE.
PORT ST. JOE, FL.

J. WARREN
PLANNING/ENGINEERING/DEVELOPMENT
2020 INTERNATIONAL DRIVE
PORT ST. JOE, FL 32450
352.885.5555
WWW.JWARRENENGINEERING.COM

OWNER OF RECORD
MARTY HARMON, JR., P.E.
FL. License #3808
CONSTRUCTION & DEVELOPMENT
300 W. 1ST ST. STE. 100
PORT ST. JOE, FL 32450

DATE: 4/22/25

Rev.	Date	Description
2025 - 03	4/22/25	

DOOR AND FRAME SCHEDULE

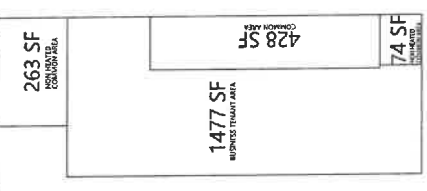
MARK	DOOR	GLAZING	STYLE	MATERIAL	SWING	TYPE	ROUGH OPENING	NOTES
1	6'0" x 8'0"	---	---	---	---	---	---	---
2	6'0" x 8'0"	---	---	---	---	---	---	---
3	6'0" x 8'0"	---	---	---	---	---	---	---
4	6'0" x 8'0"	---	---	---	---	---	---	---
5	6'0" x 8'0"	---	---	---	---	---	---	---
6	6'0" x 8'0"	---	---	---	---	---	---	---
7	6'0" x 8'0"	---	---	---	---	---	---	---
8	6'0" x 8'0"	---	---	---	---	---	---	---
9	6'0" x 8'0"	---	---	---	---	---	---	---
10	6'0" x 8'0"	---	---	---	---	---	---	---
11	6'0" x 8'0"	---	---	---	---	---	---	---
12	6'0" x 8'0"	---	---	---	---	---	---	---
13	6'0" x 8'0"	---	---	---	---	---	---	---
14	6'0" x 8'0"	---	---	---	---	---	---	---
15	6'0" x 8'0"	---	---	---	---	---	---	---
16	6'0" x 8'0"	---	---	---	---	---	---	---
17	6'0" x 8'0"	---	---	---	---	---	---	---
18	6'0" x 8'0"	---	---	---	---	---	---	---
19	6'0" x 8'0"	---	---	---	---	---	---	---
20	6'0" x 8'0"	---	---	---	---	---	---	---
21	6'0" x 8'0"	---	---	---	---	---	---	---
22	6'0" x 8'0"	---	---	---	---	---	---	---
23	6'0" x 8'0"	---	---	---	---	---	---	---
24	6'0" x 8'0"	---	---	---	---	---	---	---
25	6'0" x 8'0"	---	---	---	---	---	---	---
26	6'0" x 8'0"	---	---	---	---	---	---	---
27	6'0" x 8'0"	---	---	---	---	---	---	---
28	6'0" x 8'0"	---	---	---	---	---	---	---
29	6'0" x 8'0"	---	---	---	---	---	---	---
30	6'0" x 8'0"	---	---	---	---	---	---	---

WINDOW SCHEDULE

MARK	SIZE	STYLE	NOTES
1	6'0" x 8'0"	---	---
2	6'0" x 8'0"	---	---
3	6'0" x 8'0"	---	---
4	6'0" x 8'0"	---	---
5	6'0" x 8'0"	---	---
6	6'0" x 8'0"	---	---
7	6'0" x 8'0"	---	---
8	6'0" x 8'0"	---	---
9	6'0" x 8'0"	---	---
10	6'0" x 8'0"	---	---
11	6'0" x 8'0"	---	---
12	6'0" x 8'0"	---	---
13	6'0" x 8'0"	---	---
14	6'0" x 8'0"	---	---
15	6'0" x 8'0"	---	---
16	6'0" x 8'0"	---	---
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19	6'0" x 8'0"	---	---
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25	6'0" x 8'0"	---	---
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27	6'0" x 8'0"	---	---
28	6'0" x 8'0"	---	---
29	6'0" x 8'0"	---	---
30	6'0" x 8'0"	---	---

AREAS

HEATED AND COOLED	PORCHES/UNFINISHED SPACE	TOTAL
1ST LEVEL	124	124
2ND LEVEL	333	333
3RD LEVEL	333	333
TOTAL	846	846



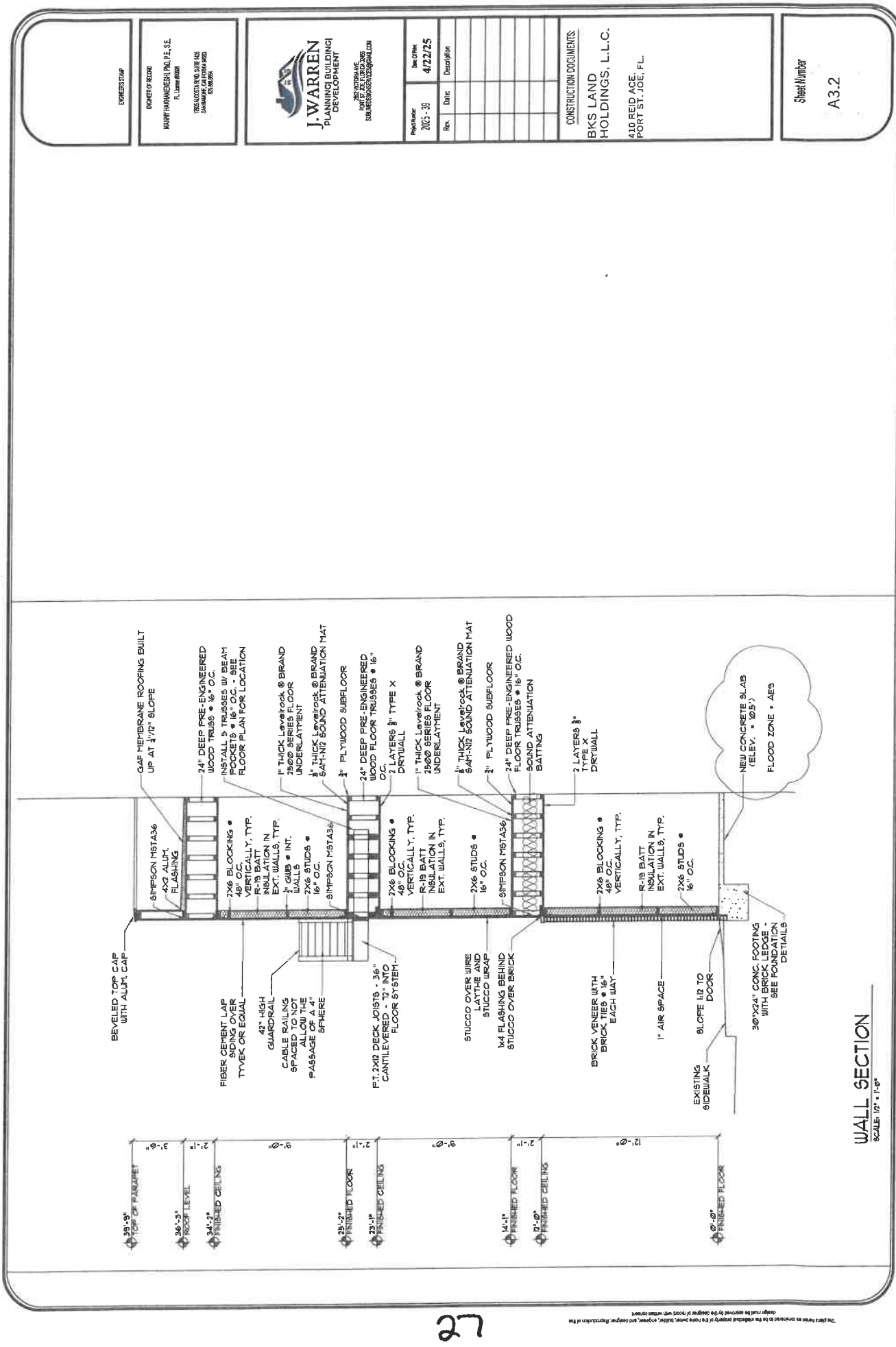
AREA DIAGRAM

The plans herein are submitted to the public property of the owner and are not to be used for any other purpose without the written consent of the owner. The owner shall be responsible for the accuracy of the information provided and the owner shall be responsible for the accuracy of the information provided.

A2.2

[illegible]

A2.3



WALL SECTION
SCALE 1/2" = 1'-0"

ENGINEER'S NAME

ENGINEER OF RECORD

KARL HAMMERSHIM, P.E., S.E.
F. License #6008

DESIGN FIRM'S OFFICE
ADDRESS (if different from
firm's address)

100 N. 10th St.
Tampa, FL 33604

J. WARREN
PLANNING BUILDING
DEVELOPMENT

2805 INTERNATIONAL
DRIVE, SUITE 200
TAMPA, FL 33606
813.888.8888
WWW.JWARRENPLANNING.COM

Project Number	Date of Issue
2015-39	4/22/15

Rev.	Date	Description

CONSTRUCTION DOCUMENTS

BKS LAND HOLDINGS, L.L.C.

410 REID AVE.
PORT ST. JOE, FL.

Sheet Number

A3.2

72

The client hereby certifies that the information provided in this drawing is true and correct to the best of their knowledge and belief. The client also certifies that the information provided in this drawing is not intended to be used for any other purpose than that for which it was prepared. The client further certifies that the information provided in this drawing is not to be used for any other purpose than that for which it was prepared. The client also certifies that the information provided in this drawing is not to be used for any other purpose than that for which it was prepared.

ENGINEER'S SEAL

ENGINEER OF RECORD

WANT HADAMCSEAL, P.E., S.E.

FL. LICENSE 00000

12345 ALCOVE DRIVE, SUITE 100

SAN FRANCISCO, CALIFORNIA 94102

415.555.1234



J. WARREN
PLANNING BUILDING
DEVELOPMENT

200 ACTON AVE
PORT ST. JOE, FL 32077
904.755.5555

Project Number: 2025-33

Date of Plan: 4/22/25

Rev.	Date	Description

CONSTRUCTION DOCUMENTS

BKS LAND HOLDINGS, L.L.C.

410 REID AVE.
PORT ST. JOE, FL.

Sheet Number

M1.1

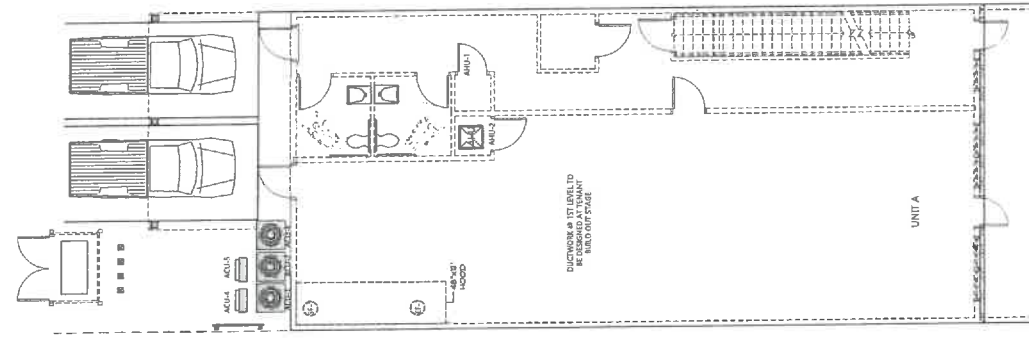
ACU-1 24,000 BTU 17 SEER

ACU-2 12,000 BTU 17 SEER

ACU-3 12,000 BTU 17 SEER

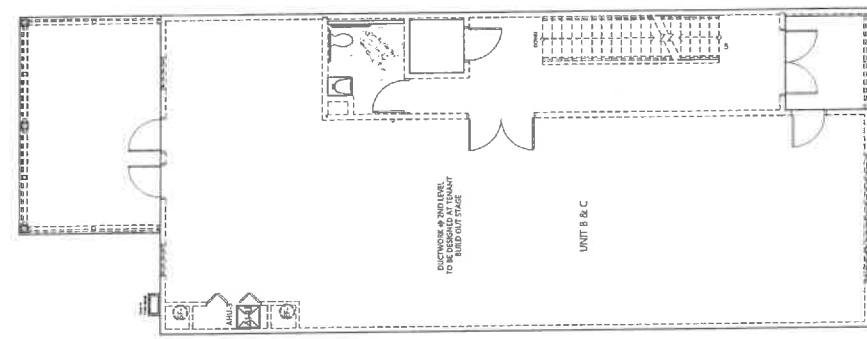
ACU-4 18,000 BTU 17 SEER

ACU-5 18,000 BTU 17 SEER



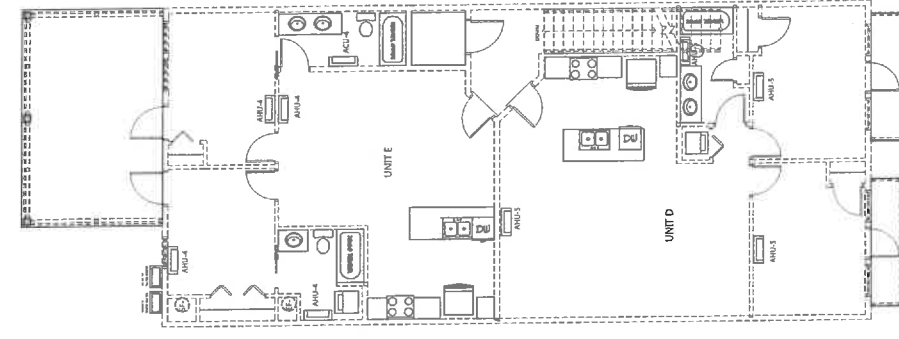
1ST LEVEL
MECHANICAL PLAN

SCALE: 3/8" = 1'-0"



2ND LEVEL
MECHANICAL PLAN

SCALE: 3/8" = 1'-0"



3RD LEVEL
MECHANICAL PLAN

SCALE: 3/8" = 1'-0"



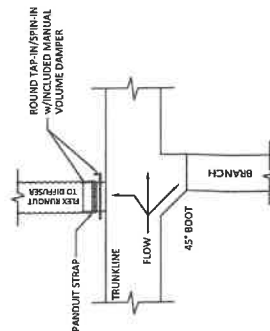
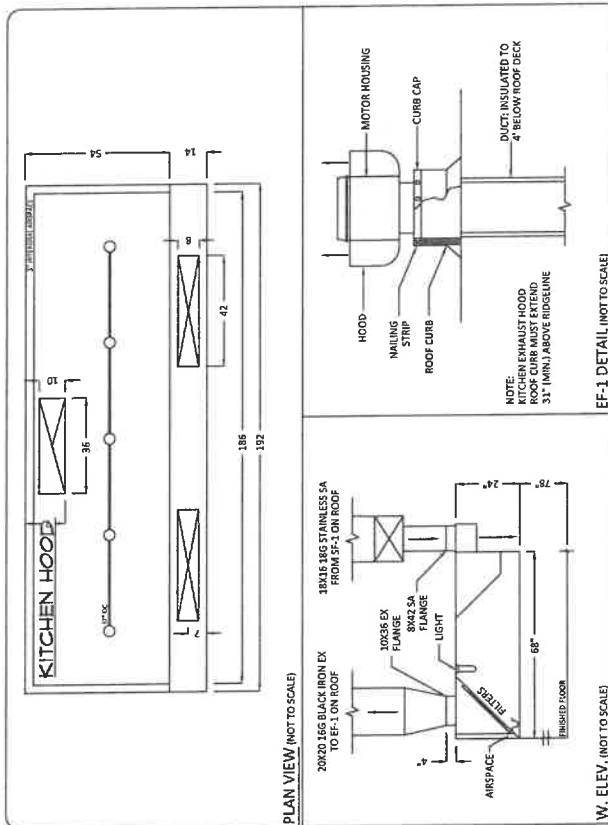
ROOF TOP
MECHANICAL PLAN

SCALE: 3/8" = 1'-0"

NOT USED

37. PROVIDE OUTSIDE AIR INTAKE WITH VOLUME CONTROL DAMPER. UNITS SHALL HAVE AN "OFF-ON-AUTOMATIC" SWITCH, AND FAN "AUTO-ON" SWITCH ON THERMOSTATIC BASE. UNIT SHALL BE OPERATED WITH FAN SWITCH IN "ON" POSITION FOR CONTINUOUS AIR CIRCULATION WHEN UNIT IS ENERGIZED.
38. UNITS SHALL HAVE AN "OFF-ON-AUTOMATIC" SWITCH, AND FAN "AUTO-ON" SWITCH ON THERMOSTATIC BASE. UNIT SHALL BE OPERATED WITH FAN SWITCH IN "ON" POSITION FOR CONTINUOUS AIR CIRCULATION WHEN UNIT IS ENERGIZED.
39. FURNISH ALL WIRING, CONDUIT, RELAYS, CONTRACTORS, STARTERS, ETC., REQUIRED FOR DRYER CONTROL SYSTEM. ALL EQUIPMENT SHALL MEET CODES AND REQUIREMENTS SPECIFIED IN THE ELECTRICAL SECTIONS OF THESE SPECIFICATIONS.
40. CONTROLS AND CONTROLLED EQUIPMENT SHALL HAVE OVERLOAD AND VOLTAGE PROTECTION.
41. MOUNT OPERATION THERMOSTAT 5'-4" ABOVE FLOOR.
42. PROVIDE CONDENSATE DRAINS WITH 2" DEEP TRAPS FROM DRAIN CONNECTIONS TO WITHIN 6" OF GROUND. EXTEND DRAIN PPE 3" OUT FROM UNIT AND TURN DOWN WITH ELBOW.
43. ASPIRATE ALL DUCTWORK SHALL BE INSTALLED AS INDICATED. ALL WINDING DUCT WORK SHALL CONFORM TO RECOMMENDATIONS OF SUPPLIER. ALL DUCTWORK JOINTS, SEAMS, ELBOWS, BRANCHES, HANGERS AND RAFTERS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH STANDARDS OF ASHRAE, AND DUCTWORK SHALL BE NEW DUCTBOARD OF BEST QUALITY. DUCTWORK SHALL BE SIZED TO MEET DESIGN FLOW RATES AND PRESSURE DROPS. INSTALLATION SHALL BE MADE IN ACCORDANCE WITH MANUFACTURER'S UNLESS INDICATED OTHERWISE.

1. BUILT IN APEREX KQ WET CHEMICAL FIRE SUPPRESSION SYSTEM
2. INCLUDED PREWURDED CONTROL CENTER MANUAL MOTOR STARTER
3. CUBE-180-20 UPRELAIST EXHAUST FAN (EF-1)
4. MINIMUM 10' FROM MAKEUP AIR INTAKE (SA-1)



TYPICAL BRANCH / RUNOUT TAPS
NOT TO SCALE

Sheet Number

M2.1

ENVIRONMENTAL STAFF

000050 50 615151

MANOY HUGHMENESH, PH.D., P.E., S.E.
R. Prince Street

3035 ALICOSTA BLVD., SUITE 1435
SAN RAMON, CALIFORNIA 94583
925.486.9854



J. WARREN
PLANNING|BUILDING

2862 VICTORIA AVE
PORT ST. JOE, FLORIDA 32668
GULF.AIRDESIGNSERVICE@GMAIL.COM

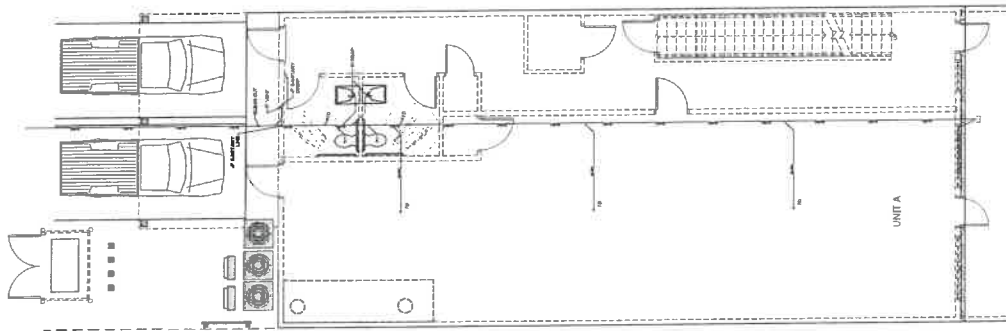
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CONSTRUCTION DOCUMENTS:

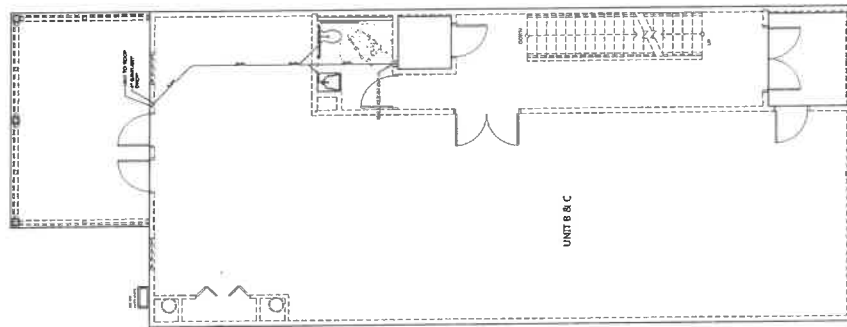
BKS LAND
HOLDINGS, L.L.C.410 REID ACE.
PORT ST. JOE, FL.

Sheet Number

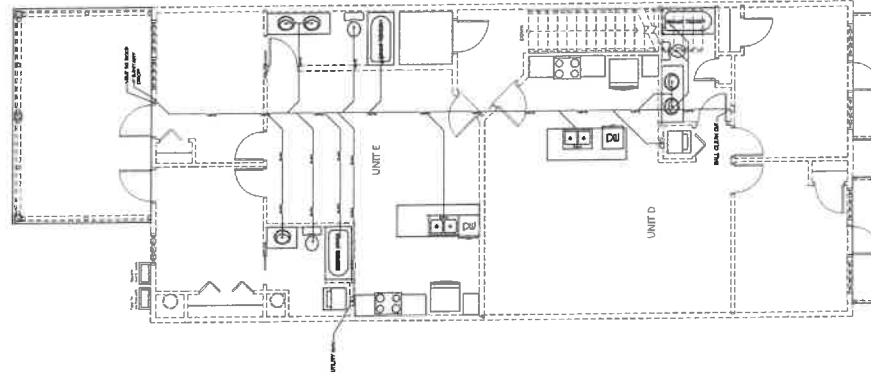
M2.1



1ST LEVEL - SANITARY
PLUMBING PLAN
SCALE: 3/8" = 1'-0"



2ND LEVEL - SANITARY
PLUMBING PLAN
SCALE: 3/8" = 1'-0"



3RD LEVEL - SANITARY
PLUMBING PLAN
SCALE: 3/8" = 1'-0"

ENGINEER'S SEAL

ENGINEER OF RECORD
MARTY FARMAN/DESIGN PRO, P.E., C.E.
FL LICENSE #20027
2024 COTA RD. SUITE 100
DAYTON, CALIFORNIA 95833
(916) 285-8888



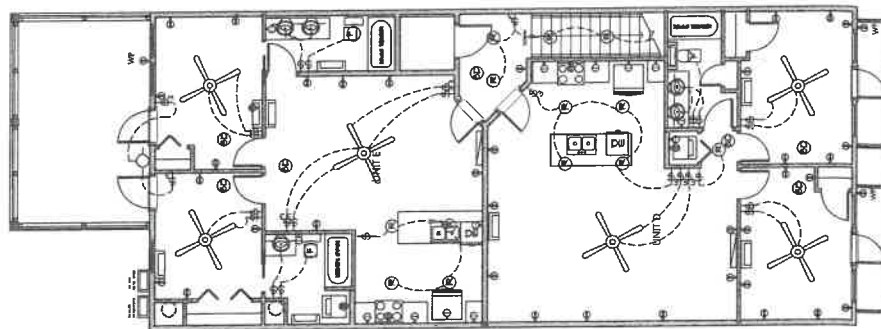
Project Number: 2025-39
Date of PM: 4/22/25

Rev.	Date	Description

CONSTRUCTION DOCUMENTS:
BKS LAND HOLDINGS, L.L.C.
410 REID AVE.
PORT ST. JOE, FL.

Sheet Number

P1.1



3RD LEVEL
ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"

	ZRY OUTLET
	NBY OUTLET - WALL MOUNTED 3" AFF. UNG.
	NBY OPCI PROTECTED OUTLET - INTD. 4" AFF. OR CABINET MTD.
	NBY OUTLET UPLUG
	NBYA 3W ACP DISCONNECT
	AIR CONDENSER UNIT
	BREAKER BOX
	SMOKE DETECTOR
	LIGHT/FAN/ALARM FAN/ALERT
	WALL SWITCH
	WALL SWITCH - 3 WAY
	WALL SWITCH - DIMMER
	WALL SWITCH - MOTION SENSOR
	FLUORESCENT LIGHT FIXTURE
	RECESSED CEILING FIXTURE
	CEILING LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	PENDANT LIGHT
	COAX LIGHT
	FLOOD LIGHT w/ MOTION SENSOR
	CEILING FAN w/ LIGHT FIXTURE
	CEILING FAN w/o LIGHT FIXTURE

[illegible]

CONSTRUCTION DOCUMENTS:

BKS LAND
HOLDINGS, L.L.C.

410 REID ACE,
PORT ST. JOE, FL.

Sheet Number

E1.2

DMV'S SYSTEMS ENGINEERS STAFF

NUMBER OF PERSONS

MANNY HAUCHAMENESHI, PhD, P.E., S.E.

PL Libree #90604

12025 ALCOSTA BLVD., SUITE 1035
SAN RAMON, CALIFORNIA 94583
925 388 0954



J. WARREN
PLANNING BUILDING
DEVELOPMENT

2852 VICTORIA AVE.
PORT ST. JOE, FLORIDA 32056
SUBMEDDESIGN@YCSQMAIL.COM

FOUNDATION DESIGN IS BASED UPON AN ASSUMED SOIL BEARING CAPACITY OF 3.0 KIP/FT² (110 KPA). THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SOILS AND HAS OBSERVED THE SOILS TO BE CONSISTENT WITH THE ASSUMED SOIL BEARING CAPACITY. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SOILS AND HAS OBSERVED THE SOILS TO BE CONSISTENT WITH THE ASSUMED SOIL BEARING CAPACITY. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SOILS AND HAS OBSERVED THE SOILS TO BE CONSISTENT WITH THE ASSUMED SOIL BEARING CAPACITY.

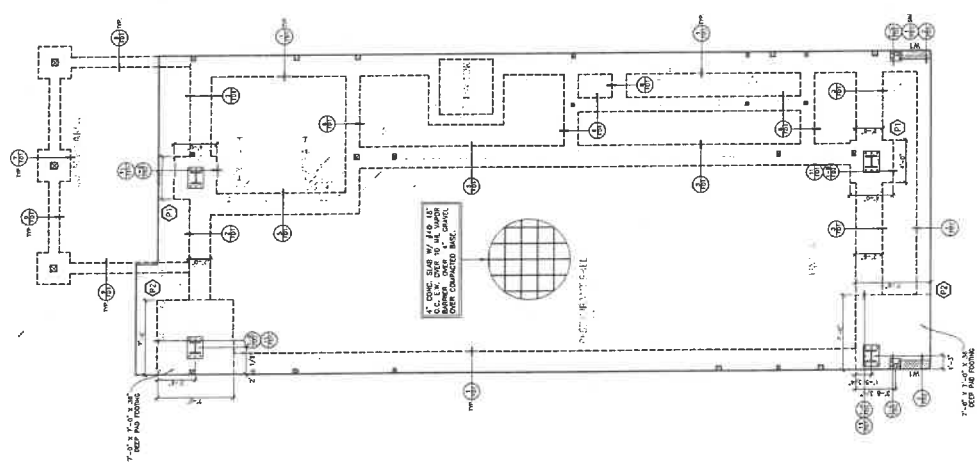
37

FOUNDATION NOTES:

- 1) FOUNDATION DESIGN IS BASED UPON AN ASSUMED SOIL BEARING CAPACITY OF 3.0 KIP/FT² (110 KPA). THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SOILS AND HAS OBSERVED THE SOILS TO BE CONSISTENT WITH THE ASSUMED SOIL BEARING CAPACITY. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SOILS AND HAS OBSERVED THE SOILS TO BE CONSISTENT WITH THE ASSUMED SOIL BEARING CAPACITY.
- 2) REINFORCE ALL DEBRIS, STEEL, WIRE, OR OTHER MATERIALS ARE NOT TO BE PLACED IN THE FOUNDATION. THE REINFORCEMENT SHALL BE PLACED AT A MINIMUM OF 3" FROM THE TOP AND BOTTOM OF THE FOUNDATION. THE REINFORCEMENT SHALL BE PLACED AT A MINIMUM OF 3" FROM THE TOP AND BOTTOM OF THE FOUNDATION.
- 3) ALL SOIL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 6" LAYERS. THE SOIL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 6" LAYERS. THE SOIL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 6" LAYERS.
- 4) ALL SOIL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 6" LAYERS. THE SOIL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 6" LAYERS. THE SOIL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 6" LAYERS.
- 5) ALL SOIL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 6" LAYERS. THE SOIL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 6" LAYERS. THE SOIL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 6" LAYERS.

SYMBOL LEGEND:

- 10" THICK, FULLY GROUTED CMU WALL
- W/ 10# @ 16" O.C. VERT. BAR & #5 @ 48"
- 0.4% MINIMUM BAR



FOUNDATION PLAN
SC3/16'-1'-0

SYMBOL	FOOTING SIZE
①	4'-0" x 4'-0" x 24" DEEP AND FOOTING W/ (5) #6 REBAR TOP & BOT. EA. DIR
②	7'-0" x 7'-0" x 36" DEEP AND FOOTING W/ (10) #7 REBAR TOP & BOT. EA. DIR

CERTIFICATION: THE STRUCTURE SHOWN ON THESE PLANS IS DESIGNED TO WITHSTAND WIND OF 140 MPH, 3 SECOND GUST & 128 MPH SUSTAINED WINDS. IN ACCORDANCE WITH FBC 2023, 8TH EDITION, EXPOSURE CATEGORY "D"

PROJECT NAME: BKS LAND HOLDINGS		PROJECT ADDRESS: 410 REID AVE. PORT ST. JOE, FL 32456		PLOT ON DATE: 4/7/2025																	
DATE: 4/7/2025	SCALE: 1/4"	DRAWN: N.S.	JOB: 103080	SHEET: S1																	
Engineer: Manny Hakkamanesh, manny@clengineeringcorp.com (925)-888-9854																					
<table border="1"> <thead> <tr> <th>NO.</th> <th>DATA</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>						NO.	DATA	BY	DESCRIPTION												
NO.	DATA	BY	DESCRIPTION																		

SYMBOL LEGEND:

MIN. 2x8 S.F. #2 @16" O.C. BEARING WALL
 (2-2x8 @16" O.C. IN 1ST STORY FOR
 EXTERIOR WALLS UNLESS OTHERWISE NOTED)

SHIPWALL TYPE & LENGTH

1" THICK, FULLY GROUTED CMU WALL
 1" MIN. JAC. O.C. VERT. BAR & #4 @16"
 O.C. HORIZ. BAR

NO.	DATE	BY	DESCRIPTION

Engineer: Manny Hokhomaneshi
 manny@engineeringcorp.com
 (925)-888-9854

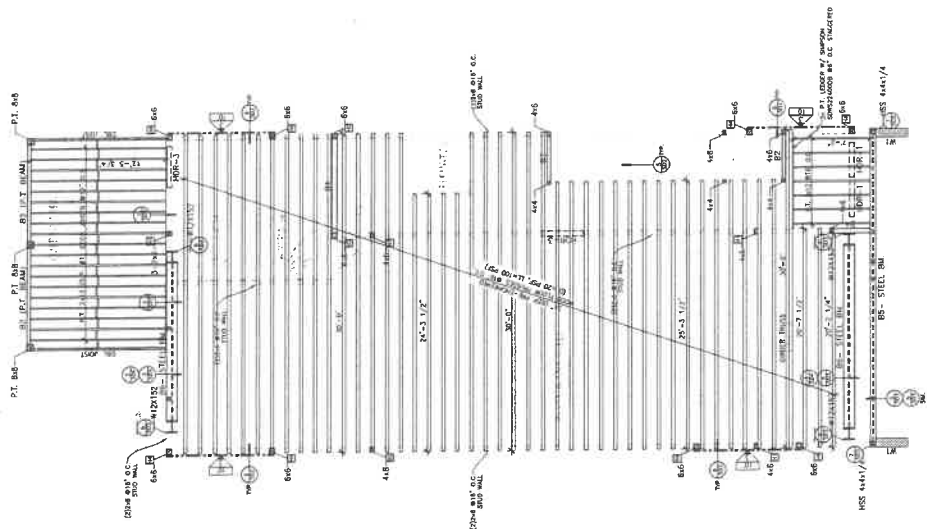


BKS LAND HOLDINGS
 410 REID AVE.
 PORT ST. JOE, FL 32456

PROJECT ADDRESS:
 PROJECT NAME:
 DATE: 4/7/2025
 SCALE: N/A
 DRAWN: J.S.
 JOB: 1400980

CERTIFICATION: THE STRUCTURE SHOWN ON THESE PLANS IS DESIGNED TO WITHSTAND WIND OF 140 MPH, 3 SECOND GUST & 128 MPH SUSTAINED WINDS. IN ACCORDANCE WITH FBC 2023, 8TH EDITION, EXPOSURE CATEGORY "D".

1ST FLOOR FRAMING PLAN
 SCS/16-1-0



NO.	HEADER SIZE (LxWxH)	NO. OF 2x JACK STUDS	NO. OF 2x RIMS STUDS
HDR-1	3-2x8	2	2
HDR-2	3-1 3/4x2 1/4 UC HOK	2	2
HDR-3	5 1/2 x 3 1/4 GLULAM HOK	2	3

UC: HOK GRUPE 1x2.0, F=2500
 GLULAM HOK GRUPE 2x4'-08" SP

NO.	BEAM SIZE (LxWxH)	NO. OF 2x JACK STUDS	NO. OF 2x RIMS STUDS
B1	2-1 3/4x11 1/4 UC (F=2.0, F=2500)	2	2
B2	3 1/2x24 GLULAM (2x4'-08" SP)	2	2
B3	5 1/2x24 GLULAM (2x4'-08" SP)	2	2
B4	W21x57 (ASTM A992)	2	2
B5	W21x57 (ASTM A992)	2	2

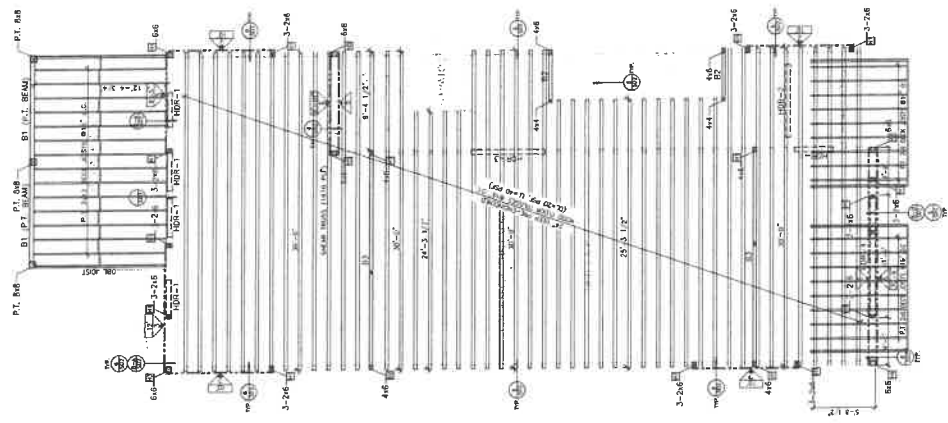
NOTE:
 1. WHERE ANCHORAGE POSTS ARE USED AT SHEAR WALL
 ENDS (AND POSTS), ANCHORAGE SHALL BE EN TO
 ALL STUDS/POSTS.

SYMBOL LEGEND:
 MAX. 2x6 S.P. #2 STEEL BEARING WALL
 1/2" x 8" W.C. 1ST STORY FOR
 EXTERIOR WALLS (UNDER EXPOSURE NOTED)
 SHEAR WALL TYPE & LENGTH

MARK	MEMBER SIZE (I.N.O.)	NO. OF 2" MAX. STUDS	NO. OF 2" MAX. STUDS	NO. OF 2" MAX. STUDS
HOR-1	HEAVYER SIZE (I.N.O.)	3-2x6	2	1
HOR-2	3-1 3/4" x 7 1/4" LVL, 10H	2	2	2
HOR-3	3-1 3/4" x 7 1/4" LVL, 10H	2	2	2
HOR-4	5 1/2" x 8 1/4" GLULAM, 10H	2	2	2
LVL, 10H DIMS: 4x2.0, 7x2.000				
GLULAM 10H DIMS: 24'-0" x 8" SP				

BEAM SIZE	NO. OF 2" MAX. STUDS	NO. OF 2" MAX. STUDS	NO. OF 2" MAX. STUDS
B1	3-2x12 (S.P. #2)	2	1
B2	2-1 3/4" x 11 1/4" LVL (E-2.0, 7x2.000)	2	2
B3	3 1/2" x 24" GLULAM (24'-0" x 8" SP)	2	2
B4	5 1/2" x 24" GLULAM (24'-0" x 8" SP)	2	2
B5	5 1/2" x 24" GLULAM (24'-0" x 8" SP)	2	2
B6	5 1/2" x 24" GLULAM (24'-0" x 8" SP)	2	2

NOTE:
 1. WHERE MULTIPLE POINTS ARE USED AT SHEAR WALL
 DIMS (AND POINTS), SHEARING SHALL BE E.A. TO
 ALL STUDS/POINTS.



2ND FLOOR FRAMING PLAN
 503/16'-1'-0

CERTIFICATION: THE STRUCTURE SHOWN ON THESE PLANS IS DESIGNED TO WITHSTAND WIND OF 140 MPH, 3 SECOND GUST & 128 MPH SUSTAINED WINDS. IN ACCORDANCE WITH FBC 2023, 8TH EDITION, EXPOSURE CATEGORY "D"

PROJECT NAME: BKS LAND HOLDINGS		PROJECT ADDRESS: 410 REID AVE. PORT ST. JOE, FL 32456	
DATE: 4/7/2023	SCALE: N/A	DRAWN M.S.	JOB: 1403080
SHEET: S3		PLOT ON DATE: 4/7/2023	

Engineer: Manny Halkamaneh
 (925)-888-9854
 manny@ejengineeringcorp.com

WHEELHOUSE
 1000 W. WHEELHOUSE BLVD.
 SUITE 100
 PORT ST. JOE, FL 32456

REVISION TABLE

NO.	DATE	BY	DESCRIPTION

BKS LAND HOLDINGS
410 REID AVE.
PORT ST. JOE, FL 32456

PROJECT NAME:
PROJECT ADDRESS:
DATE: 4/7/2025
SCALE: N/A
DRAWN: M.S.
JOB: 140390
SHEET: FD1

Engineer: Manny Hahmaneshi
manny@engineeringcorp.com
(925)-888-9854



NO.	DATA	BY	DESCRIPTION

1 TYP. EXTERIOR FOOTING

2 EXTERIOR FOOTING w/ STIRRUP

3 EXTERIOR FOOTING w/ BRICK VENEER

4 EXTERIOR FOOTING

5 24"x24" INTERIOR FOOTING

6 16"x24" INTERIOR FOOTING

7 ISOLATED PAD FOOTING

8 ELEVATOR PIT DETAIL

9 TIE BEAM

10 CAST-IN-PLACE FOUNDATION HOLDOWNS

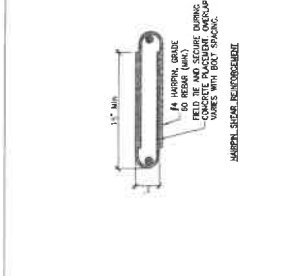
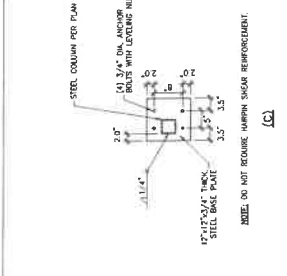
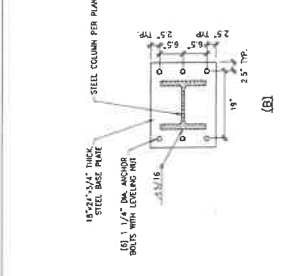
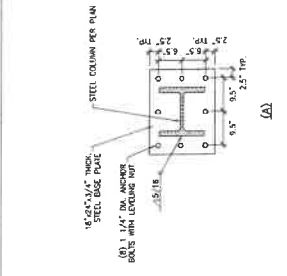
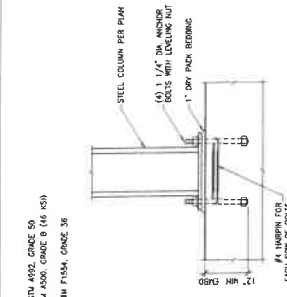
11 PAD FOOTING

12 NON-BEARING INTERIOR WALL

13 TYPICAL CONTROL JOINT DETAIL

CERTIFICATION: THE STRUCTURE SHOWN ON THESE PLANS IS DESIGNED TO WITHSTAND WIND OF 140 MPH, 3 SECOND GUST & 128 MPH SUSTAINED WINDS. IN ACCORDANCE WITH FBC 2023, 8TH EDITION. EXPOSURE CATEGORY "D"

STEEL MATERIALS: 1. ALL CONCRETE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH BUILDING CODE. 2. ALL MATERIALS, UNLESS OTHERWISE SPECIFIED, SHALL CONFORM TO STANDARDS. 3. REINFORCING STEEL SHALL BE TYPE 60,000 PSI YIELD STRENGTH AND CONFORMING WITH ASTM A615 AND SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 2.1.1. 4. CONCRETE SHALL BE TYPE 4,000 PSI COMPRESSIVE STRENGTH AND CONFORMING WITH ASTM C1191. 5. THE SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE SHALL BE VERIFIED BY THE STRENGTH DEVELOPMENT TEST METHOD PRIOR TO AND DURING CONSTRUCTION AS DESCRIBED IN BUILDING CODE. 6. ALL REINFORCING STEEL (REBAR) SHALL BE ASTM A615 GRADE 60 (DEFORMED) AND SHALL BE FREE OF RUST. 7. REBAR LAP SPICES SHALL HAVE A MINIMUM LAP LENGTH OF 48 BAR DIAMETER (UNLESS NOTED OTHERWISE).



1 BASE PLATE DETAIL

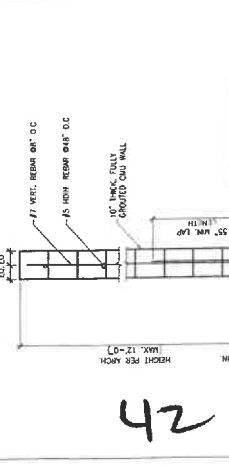
2 CMU WALL DETAIL



3 SECOND GUST & 128 MPH SUSTAINED WINDS. IN ACCORDANCE WITH FBC 2023, 8TH EDITION, EXPOSURE CATEGORY "D"

4 REAR LAP SPICES SHALL HAVE A MINIMUM LAP LENGTH OF 48 BAR DIAMETER (UNLESS NOTED OTHERWISE).

5 ALL REINFORCING STEEL (REBAR) SHALL BE ASTM A615 GRADE 60 (DEFORMED) AND SHALL BE FREE OF RUST.

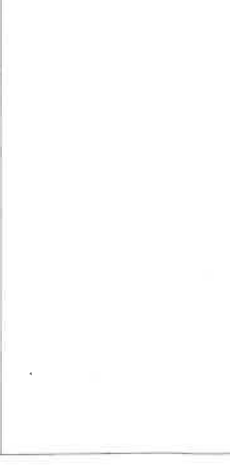


2 CMU WALL DETAIL

6 REAR LAP SPICES SHALL HAVE A MINIMUM LAP LENGTH OF 48 BAR DIAMETER (UNLESS NOTED OTHERWISE).

7 ALL REINFORCING STEEL (REBAR) SHALL BE ASTM A615 GRADE 60 (DEFORMED) AND SHALL BE FREE OF RUST.

8 REAR LAP SPICES SHALL HAVE A MINIMUM LAP LENGTH OF 48 BAR DIAMETER (UNLESS NOTED OTHERWISE).



9 REAR LAP SPICES SHALL HAVE A MINIMUM LAP LENGTH OF 48 BAR DIAMETER (UNLESS NOTED OTHERWISE).

PROJECT NAME:	BKS LAND HOLDINGS
PROJECT ADDRESS:	410 REID AVE. PORT ST. JOE, FL 32456
DATE:	4/7/2025
SCALE:	N/A
DRAWN BY:	M.S.
JOB:	1403000
SHEET:	FD2

Engineer: Manny Holthamane, Inc.
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(925)-888-9854



REVISION TABLE

NO.	DATE	BY	DESCRIPTION

PLOT ON DATE: 4/7/2025

CERTIFICATION: THE STRUCTURE SHOWN ON THESE PLANS IS DESIGNED TO WITHSTAND WIND OF 140 MPH, 3 SECOND GUST & 128 MPH SUSTAINED WINDS. IN ACCORDANCE WITH FBC 2023, 8TH EDITION, EXPOSURE CATEGORY "D"

45

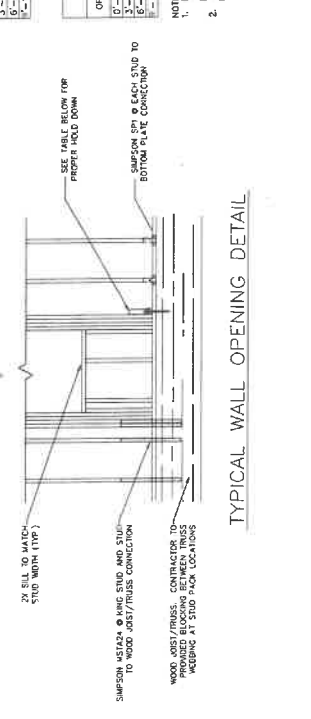
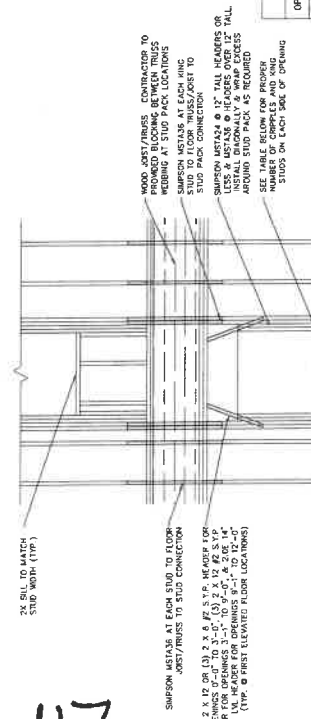
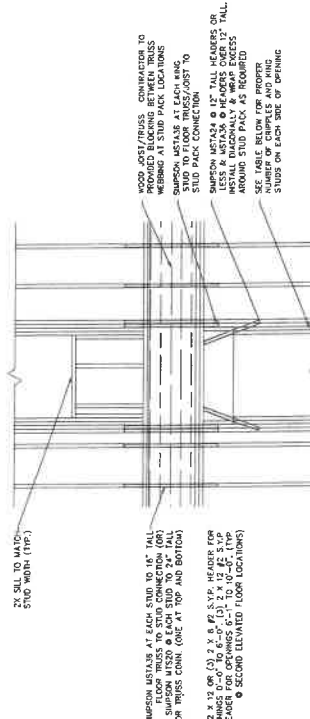
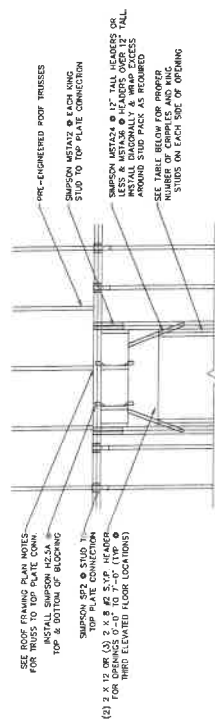


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Engineer: Mann
mannny@oajengli
(925)-888-9854

REVISION TABLE			
NO.	DATA	BY	DESCRIPTION



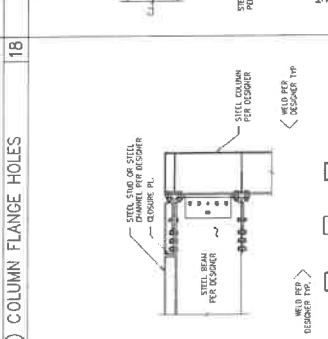
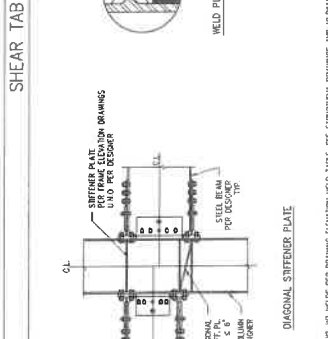
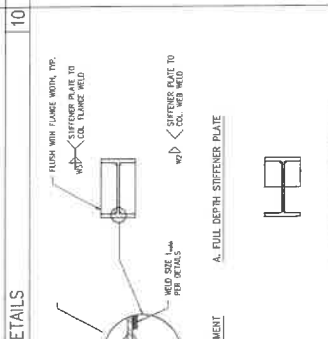
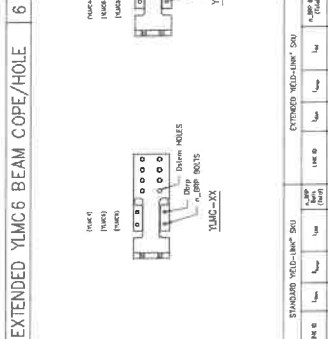
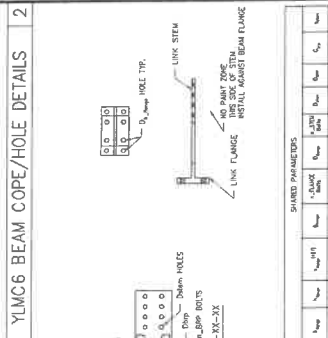
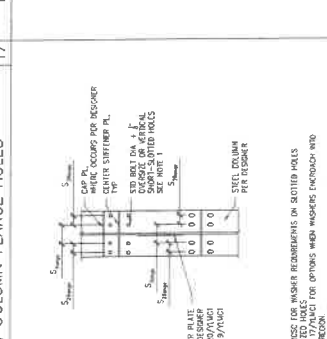
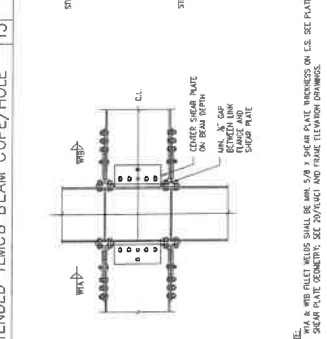
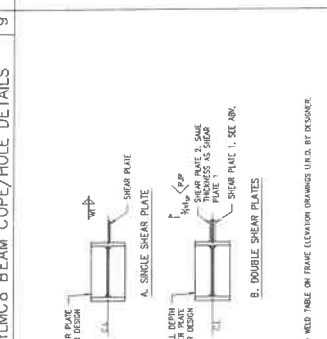
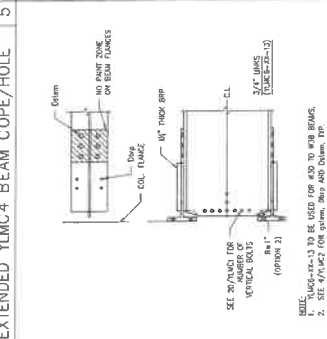
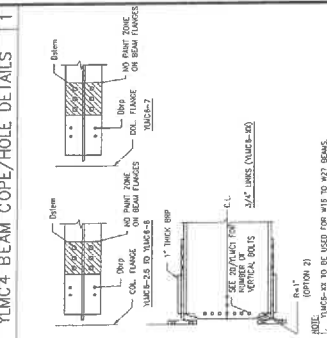
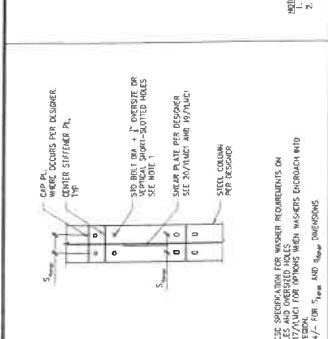
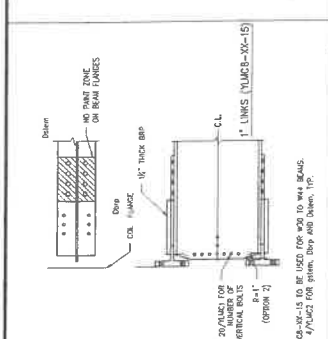
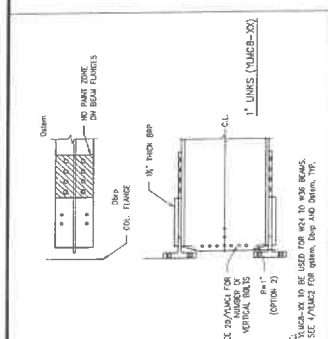
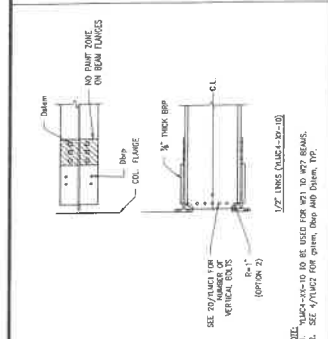
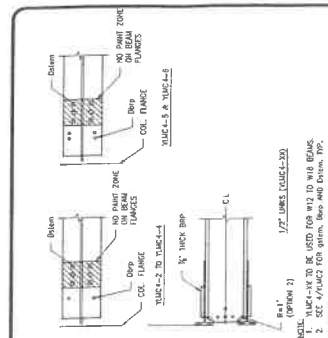
NUMBER OF CRIPPLES AND KINGS		
OPENING SIZE	# OF CRIPPLES	# OF KINGS
0'-0" TO 3'-0"	2	2
3'-1" TO 6'-0"	2	2
6'-1" TO 9'-0"	3	3
9'-1" TO 12'-0"	4	4

HEADING SCHEDULE	
OPENING SIZE	HEADER DESCRIPTION
0'-0" to 3'-0"	21, 2x12 S W/ 2x4 BLOCKING & 2 LAYERS OF 1/2" PLYWOOD
3'-0" to 6'-0"	31, 2x12 S W/ 2 LAYERS OF 1/2" PLYWOOD
6'-0" to 9'-0"	31, 3/4"x12" Lx, W/ 1 LAYER OF 1/4" PLYWOOD
9'-0" to 12'-0"	31, 3/4"x12" Lx, W/ 1 LAYER OF 1/4" PLYWOOD

NOTES:

1. DOOR OPENINGS SHALL BE BUILT IN THE SAME MANNER AS THE WINDOW OPENING FRAMING SHOWN WITH THE EXCEPTION OF THE BOTTOM SILL AND CRIPPLES
2. ALL HEADERS SHALL BE BUILT AS SPECIFIED IN THIS DETAIL

TYPICAL WALL OPENING DETAIL



		100°		150°		200°		250°		300°		350°		400°		450°		500°		550°		600°		650°		700°		750°		800°		850°		900°		950°		1000°		1050°		1100°		1150°		1200°		1250°		1300°		1350°		1400°		1450°		1500°		1550°		1600°		1650°		1700°		1750°		1800°		1850°		1900°		1950°		2000°		2050°		2100°		2150°		2200°		2250°		2300°		2350°		2400°		2450°		2500°		2550°		2600°		2650°		2700°		2750°		2800°		2850°		2900°		2950°		3000°		3050°		3100°		3150°		3200°		3250°		3300°		3350°		3400°		3450°		3500°		3550°		3600°		3650°		3700°		3750°		3800°		3850°		3900°		3950°		4000°		4050°		4100°		4150°		4200°		4250°		4300°		4350°		4400°		4450°		4500°		4550°		4600°		4650°		4700°		4750°		4800°		4850°		4900°		4950°		5000°		5050°		5100°		5150°		5200°		5250°		5300°		5350°		5400°		5450°		5500°		5550°		5600°		5650°		5700°		5750°		5800°		5850°		5900°		5950°		6000°		6050°		6100°		6150°		6200°		6250°		6300°		6350°		6400°		6450°		6500°		6550°		6600°		6650°		6700°		6750°		6800°		6850°		6900°		6950°		7000°		7050°		7100°		7150°		7200°		7250°		7300°	
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Technical drawing of a double door assembly. The drawing includes a side elevation of the door frame and a detail of the door handle. The side elevation shows a door with a handle, a lock, and a door stop. The detail shows a door handle with a lock and a door stop. The drawing is labeled with various components and dimensions.

Labels and dimensions:

- 11
- DETAILS
- 12
- DETAILS
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NO.	DATE	REVISIONS



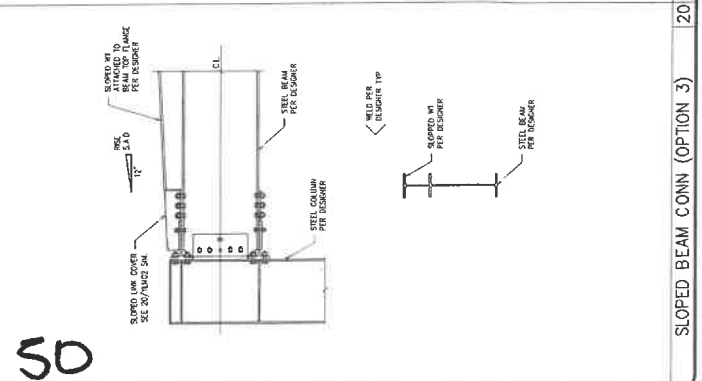
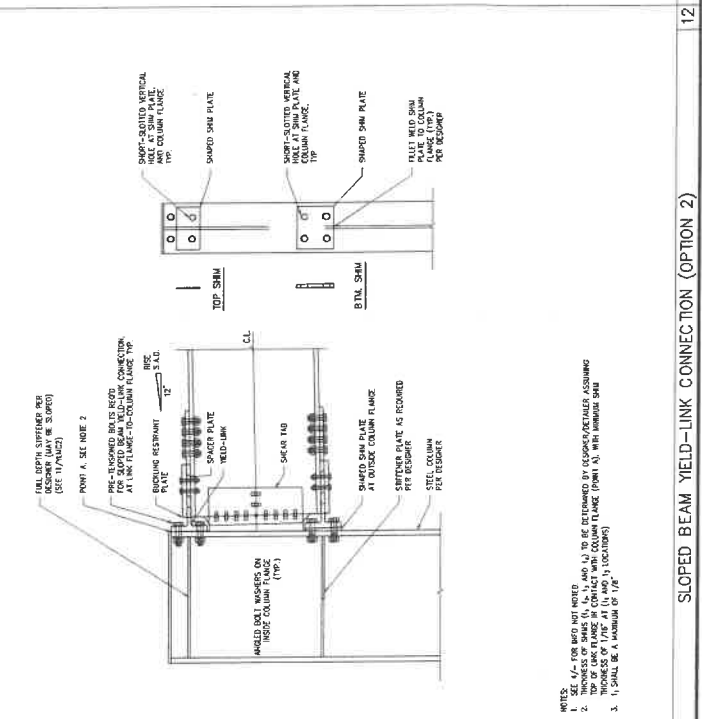
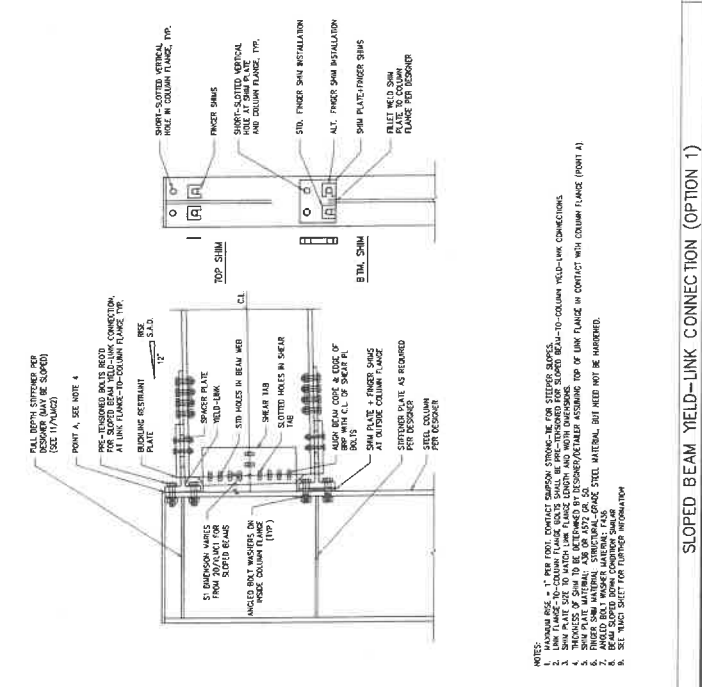
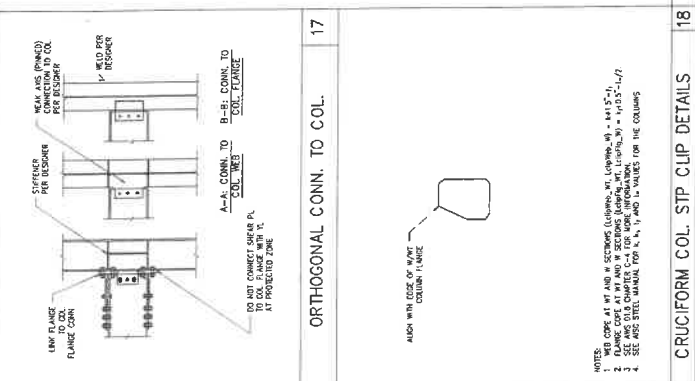
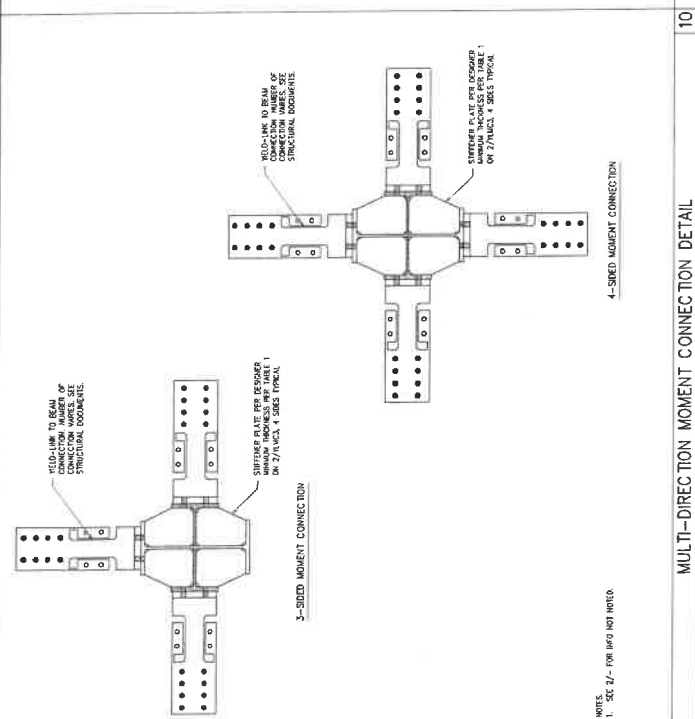
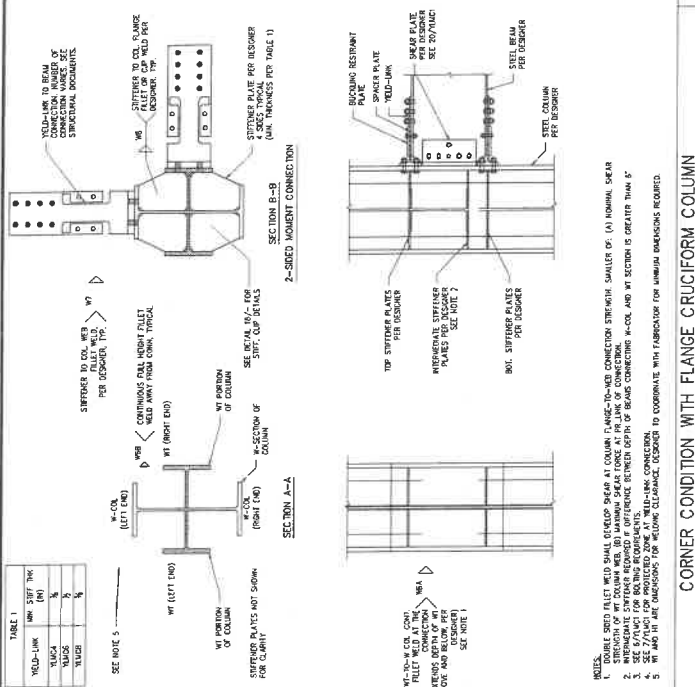
SIMPSON STRONG-TIE CO. INC.
 5505 N. Loop East, Suite 200
 Houston, TX 77068-1498
 Tel: (281) 891-8999
 Fax: (281) 891-8997
 Web Site: www.simpsonstrong-tie.com

YIELD-LINK® MOMENT CONNECTION

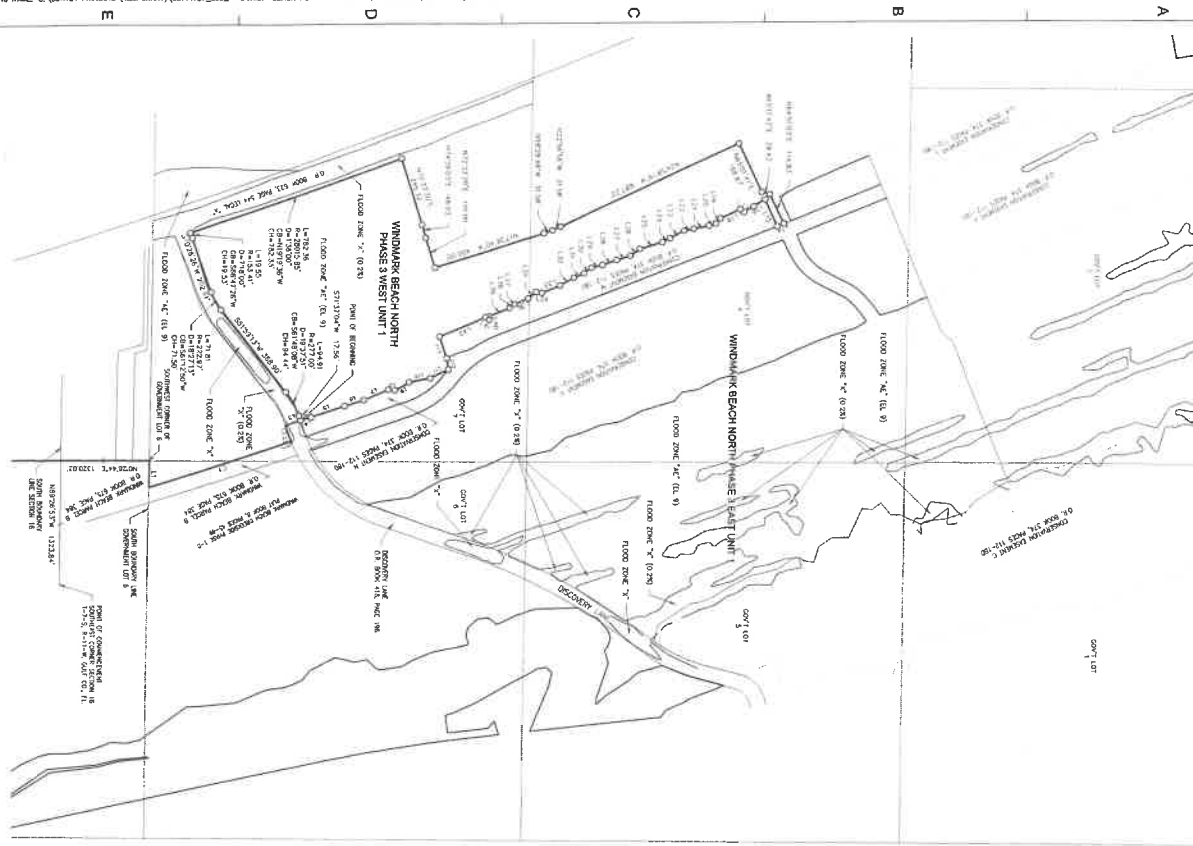
STEEL SPECIAL MOMENT FRAME

CONNECTION DETAILING INFORMATION

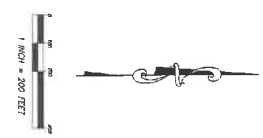
NAME: _____
 DATE: 10/18/2024
 SCALE: N.T.S.
 SHEET: _____
YLMC3
 JOB NO. _____



50



- SYMBOLS & ABBREVIATIONS**
- No. - Number
 - 1 - Survey
 - 2 - Boundary
 - 3 - Easement
 - 4 - Flood Zone
 - 5 - Concrete
 - 6 - Survey Point
 - 7 - Survey Line
 - 8 - Survey Station
 - 9 - Survey Angle
 - 10 - Survey Distance
 - 11 - Survey Area
 - 12 - Survey Volume
 - 13 - Survey Weight
 - 14 - Survey Length
 - 15 - Survey Width
 - 16 - Survey Height
 - 17 - Survey Depth
 - 18 - Survey Density
 - 19 - Survey Pressure
 - 20 - Survey Temperature
 - 21 - Survey Humidity
 - 22 - Survey Wind Speed
 - 23 - Survey Wind Direction
 - 24 - Survey Rainfall
 - 25 - Survey Snowfall
 - 26 - Survey Icefall
 - 27 - Survey Leaf Fall
 - 28 - Survey Fruit Fall
 - 29 - Survey Seed Fall
 - 30 - Survey Pollen Fall
 - 31 - Survey Spore Fall
 - 32 - Survey Bacteria Fall
 - 33 - Survey Fungus Fall
 - 34 - Survey Virus Fall
 - 35 - Survey Parasite Fall
 - 36 - Survey Insect Fall
 - 37 - Survey Mammal Fall
 - 38 - Survey Bird Fall
 - 39 - Survey Reptile Fall
 - 40 - Survey Amphibian Fall
 - 41 - Survey Fish Fall
 - 42 - Survey Invertebrate Fall
 - 43 - Survey Plant Fall
 - 44 - Survey Animal Fall
 - 45 - Survey Microbe Fall
 - 46 - Survey Macrobe Fall
 - 47 - Survey Mesobe Fall
 - 48 - Survey Eukaryote Fall
 - 49 - Survey Prokaryote Fall
 - 50 - Survey Archaea Fall
 - 51 - Survey Bacteria Fall
 - 52 - Survey Eukarya Fall
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- SURVEYOR'S NOTES**
1. THIS SURVEY WAS MADE BY SURVEYOR [Name] ON [Date] FOR THE PURPOSE OF [Purpose].
 2. THE SURVEY WAS MADE IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S.
 3. THE SURVEY WAS MADE IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S.
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 10. THE SURVEY WAS MADE IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S.

- LEGEND**
- 1. NOT APPLICABLE TO THIS SURVEY.
 - 2. NOT APPLICABLE TO THIS SURVEY.
 - 3. NOT APPLICABLE TO THIS SURVEY.
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 - 10. NOT APPLICABLE TO THIS SURVEY.

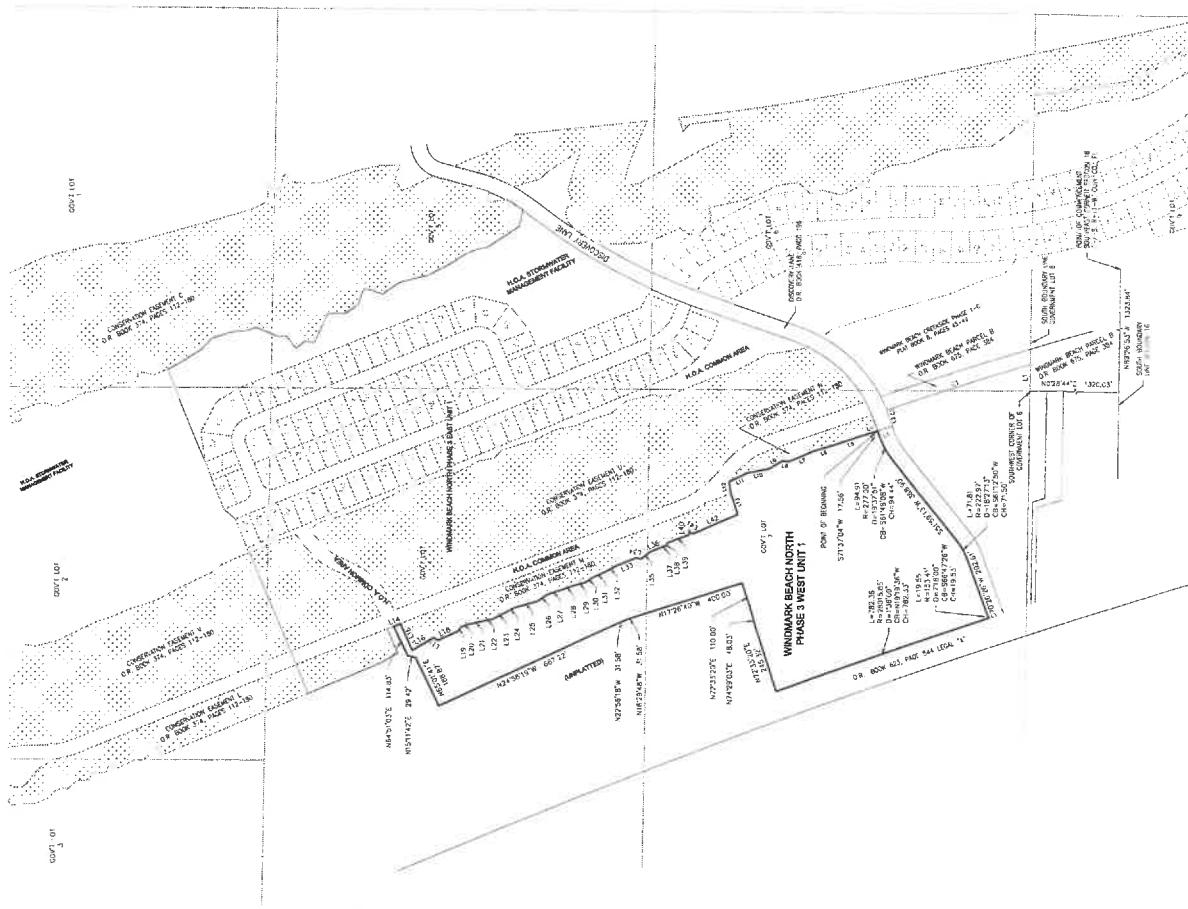
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2	5050.000	50.000	5100.000
3	5100.000	50.000	5150.000
4	5150.000	50.000	5200.000
5	5200.000	50.000	5250.000
6	5250.000	50.000	5300.000
7	5300.000	50.000	5350.000
8	5350.000	50.000	5400.000
9	5400.000	50.000	5450.000
10	5450.000	50.000	5500.000

Line Table			
Line #	Beginning	Length	End
11	5500.000	50.000	5550.000
12	5550.000	50.000	5600.000
13	5600.000	50.000	5650.000
14	5650.000	50.000	5700.000
15	5700.000	50.000	5750.000
16	5750.000	50.000	5800.000
17	5800.000	50.000	5850.000
18	5850.000	50.000	5900.000
19	5900.000	50.000	5950.000
20	5950.000	50.000	6000.000

Line Table			
Line #	Beginning	Length	End
21	6000.000	50.000	6050.000
22	6050.000	50.000	6100.000
23	6100.000	50.000	6150.000
24	6150.000	50.000	6200.000
25	6200.000	50.000	6250.000
26	6250.000	50.000	6300.000
27	6300.000	50.000	6350.000
28	6350.000	50.000	6400.000
29	6400.000	50.000	6450.000
30	6450.000	50.000	6500.000

51

A SUBDIVISION OF A PORTION OF GOVERNMENT LOT 7, SECTION 16,
TOWNSHIP 7 SOUTH, RANGE 11 WEST, GULF COUNTY, FLORIDA
MAY, 2025



Line Table		
Line #	Bearing	Length
L1	S89.14°E2C	93.69
L2	S71.37°W4"X	38.81
L3	N18.23°S6"X	54.00
L4	N48.36°S1"X	39.99
L5	N16.75°S10"X	124.78
L6	N18.90°S3"X	70.17
L7	N23.31°E2"X	62.56
L8	N5.39°S3"X	22.80
L9	N49.32°S45"X	55.83
L10	N17.45°S0"X	76.55
L11	N25.47°E10"X	69.83
L12	S51.44°E2"X	38.83
L13	S72.00°E37"X	47.6

Line Table		
Line #	Bearing	Length
L14	S21°37'48"E	23.02
L15	S20°22'34"W	103.51
L16	S81°20'12"E	86.67
L17	S37°16'00"W	17.67
L18	S44°43'24"E	75.15
L19	S40°20'21"E	24.16
L20	S12°40'07"E	23.49
L21	S12°10'31"E	32.60
L22	N11°33'51"E	34.18
L23	S27°29'57"E	59.55
L24	E28°06'25"E	39.10
L25	S16°10'04"E	82.92
L26	S31°48'28"E	40.75
L27	S19°26'17"E	46.60
L28	N19°28'47"E	82.48

Line Table		
Line #	Bearing	Length
L26	S14°45'30"E	39.68
L28	S24°18'30"E	33.48
L29	S23°15'00"E	38.53
L32	S22°30'18"E	55.70
L33	S28°20'40"E	69.17
L34	S07°15'15"W	18.69
L35	S39°03'56"E	32.58
L36	S37°00'02"E	52.64
L37	S33°00'56"W	5.39
L38	S00°25'25"E	21.53
L39	S10°35'25"E	78.67
L40	N48°00'37"E	13.84
L41	S37°37'33"W	18.33
L42	S23°08'02"E	175.44

Curve #	Length	Radius	Curve Data	Grade Barling	Chart Length
C1	221.06	12412.24	237.94°	207.6127°W	521.85
C2	24.30	2344.60	237.94°	207.6141°W	24.30
C3	24.30	2344.60	237.94°	237.3250°E	77.78
C4	58.28	56.00	90.0000°	082.7330°E	77.78
C5	46.89	31.00	90.0000°	127.2333°E	13.66
C6	46.89	31.00	90.0000°	127.2333°E	13.66
C7	46.89	31.00	90.0000°	082.7330°E	117.72
C8	46.89	31.00	90.0000°	082.7330°E	13.66
C9	46.89	31.00	90.0000°	261.2646°W	13.66
C10	46.89	31.00	90.0000°	261.2646°W	13.66
C11	46.89	31.00	90.0000°	082.7330°E	13.66
C12	46.89	31.00	90.0000°	082.7330°E	13.66
C13	46.89	31.00	90.0000°	082.7330°E	13.66
C14	24.30	2344.60	237.94°	207.6141°W	24.30
C15	24.30	2344.60	237.94°	207.6141°W	24.30
C16	24.30	2344.60	237.94°	207.6141°W	24.30
C17	46.89	31.00	90.0000°	082.7330°E	20.27
C18	46.89	31.00	90.0000°	082.7330°E	33.61
C19	46.89	31.00	90.0000°	082.7330°E	46.89
C20	46.89	31.00	90.0000°	082.7330°E	50.78
C21	46.89	31.00	90.0000°	082.7330°E	54.67



SHEET INDEX

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99	99	99
100	100	100

VICINITY MAP, LEGEND, SURVEYOR'S NOTES,

DESCRIPTION, DEDICATION & SIGNATURE SHEET

OVERALL BOUNDARY (1"=200')

LOT DETAIL (1"=500')

LOW DIBITIL (1-20)

Dearberry.

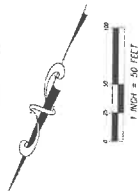
Dewberry
DEWBERRY ENGINEERS INC.

DEWBERRY ENGINEERS INC.
203 ABERDEEN PARKWAY
PANAMA CITY, FLORIDA 32405

PHONE: 850.522.0644 FAX: 850.522.1011
WWW.DENBERRY.COM
CERTIFICATE OF AUTHORIZATION NO. 119041

IDENTIFICATION OF POLYMERIZATION INNO. LB 8011

A SUBDIVISION OF A PORTION OF GOVERNMENT LOT 7, SECTION 16,
TOWNSHIP 7 SOUTH, RANGE 11 WEST, GULF COUNTY, FLORIDA
MAY, 2025



Line Table		
Line #	Bearing	Length
L1	S80°15'02"E	93.66
L2	S71°37'04"W	36.01
L3	N8°22'56"E	54.00
L4	N18°38'31"W	38.59
L5	N10°15'03"E	124.78
L6	N18°50'30"S	70.17
L7	N32°31'27"W	92.96
L8	N4°30'03"E	22.68
L9	N26°32'45"W	55.83
L10	N10°46'00"S	76.35
L11	N35°47'10"W	69.03
L12	S81°44'22"E	39.56
L13	S23°00'32"E	80.76

Line Table		
Line #	Bearing	Length
L14	S31°37'48"E	23.02
L15	S30°12'34"W	63.58
L16	S31°20'12"E	66.67
L17	S27°16'00"W	17.87
L18	S24°49'54"E	78.15
L19	S49°20'21"E	24.16
L20	S1°46'10"E	20.49
L21	S12°15'31"E	52.60
L22	S11°33'51"E	34.16
L23	S27°26'33"E	69.56
L24	S28°00'30"E	26.10
L25	S1°06'04"E	62.82
L26	S34°49'28"E	49.75
L27	S75°56'17"E	60.60
L28	S1°26'24"E	54.46

Line #	Bearing	Length
L20	S 74°34' 30"E	38.66
L20	S 34°48' 10"E	33.48
L31	S 23°15'00"E	36.53
L32	S 20°35'10"E	56.70
L32	S 25°00'40"E	68.17
L34	S 7°15'10"E	18.69
L36	S 30°33'45"E	36.52
L36	S 23°09'02"E	52.84
L37	S 30°09'30"E	5.36
L38	S 20°25'28"E	21.53
L38	S 50°15'26"E	78.67
L40	N 68°08'37"E	12.84
L41	S 37°57'33"E	10.15
L42	S 23°09'02"E	17.44

Curve	Length	Radius	Data	Over Banding	Over Length
C1	50.58	1511.25	214.47	870146296	30.32
C2	50.58	1507.00	214.47	870146296	30.32
C3	86.32	95.50	81000007	862763267	77.78
C4	86.32	95.50	81000007	862763267	77.78
C5	14.68	21.00	81000007	827333257	6.86
C6	14.68	21.00	81000007	827333257	6.86
C7	14.68	21.00	81000007	827333257	6.86
C8	14.68	21.00	81000007	827333257	6.86
C9	14.68	21.00	81000007	827333257	6.86
C10	14.68	21.00	81000007	827333257	6.86
C11	14.68	21.00	81000007	827333257	6.86
C12	14.68	21.00	81000007	827333257	6.86
C13	14.68	21.00	81000007	827333257	6.86
C14	14.68	21.00	81000007	827333257	6.86
C15	14.68	222.87	818196	88119451	34.46
C16	30.13	78.50	1430367	885181732	25.54
C17	14.68	78.50	1430367	885181732	10.50
C18	14.68	78.50	3951377	102701027	5.61
C19	14.68	78.50	1510178	827333257	6.86
C20	14.68	78.50	1510178	827333257	6.86
C21	14.68	78.50	3225267	88814129	9.98

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL PICTORIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREON AND UNDER NO CIRCUMSTANCES SHALL BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM ON THE PLAT.

ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES. PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF ANY POWER, GAS, WATER, SEWER, OR OTHER PUBLIC UTILITY.

SHEET INDEX	
TITLE	NO.
VICINITY MAP, LEGEND, SURVEYOR'S NOTES, DESCRIPTION, DEDICATION & SIGNATURE SHEET	1
OVERALL BOUNDARY (1"=200')	2
LOT DETAIL (1"=50')	3-4

Dewberry.

Dewberry Engineers Inc.
203 Abercrombie Parkway
Panama City, Florida 32405
Phone: 850.522.0844 Fax: 850.522.1011
www.dewberry.com

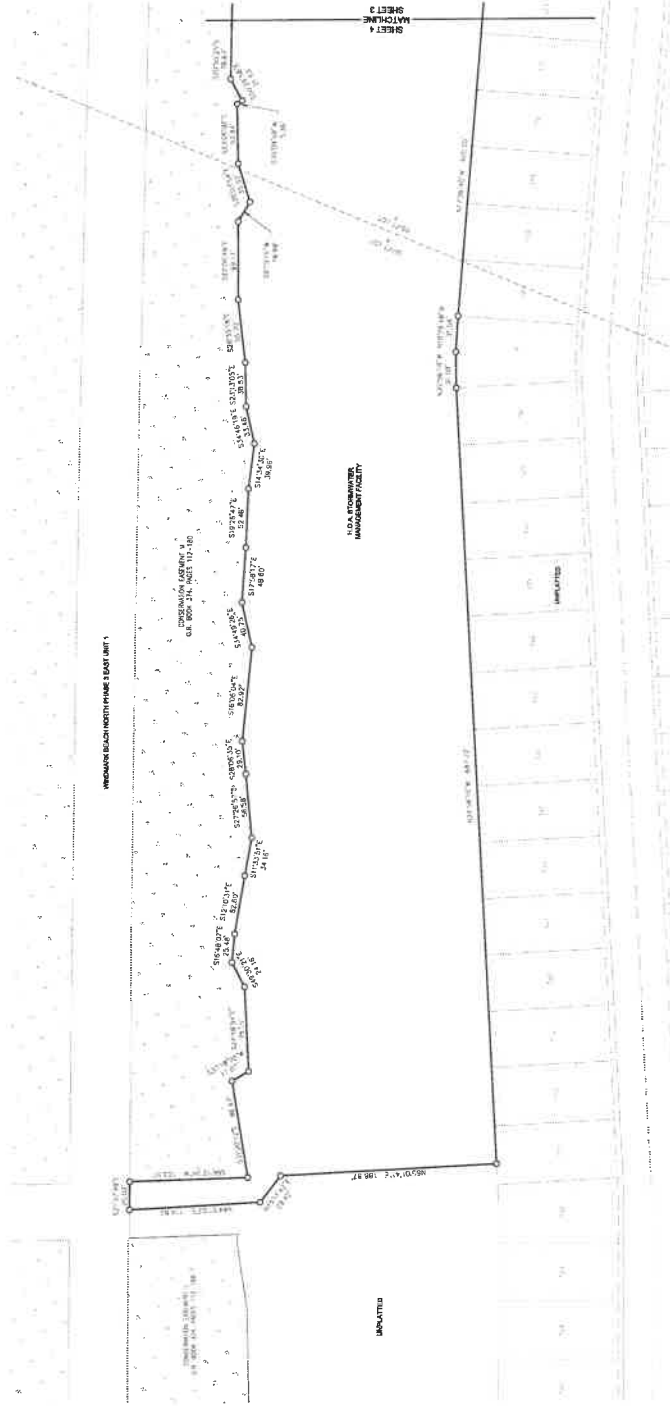
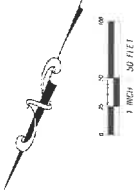
WWW.DENVERRY.COM
CERTIFICATE OF AUTHORIZATION NO. 1 D 8011

54

WINDMARK BEACH NORTH PHASE 3 WEST UNIT 1

A SUBDIVISION OF A PORTION OF GOVERNMENT LOT 7, SECTION 16,
TOWNSHIP 7 SOUTH, RANGE 11 WEST, GULF COUNTY, FLORIDA
MAY, 2025

PLAT BOOK PAGE
SHEET 4 OF 4



NOTES:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL RECORD OF THE SUBDIVISION. IT IS THE RESPONSIBILITY OF THE SUBDIVISION TO MAINTAIN THE SUBDIVISION RECORDS IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA STATUTES.
ALL PLATED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL BE USED FOR THE PURPOSES SPECIFICALLY SET FORTH IN THE PLAT. THE OPERATION OF CABLE, TELEPHONE, GAS, WATER, SEWER, AND OTHER UTILITIES SHALL BE SUBJECT TO THE REQUIREMENTS OF THE FLORIDA STATUTES AND THE RULES AND REGULATIONS OF THE FLORIDA PUBLIC UTILITY COMMISSION. THE SUBDIVISION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE UTILITY EASEMENTS AND SHALL BE RESPONSIBLE FOR THE COST OF THE UTILITY EASEMENTS.

TITLE	SHEET INDEX	NO.
VICINITY MAP, LEGEND, SURVEYORS NOTES	1	1
DESCRIPTION, LEGEND & SIGNATURE SHEET	2	2
OVERALL BOUNDARY (1"=500')	3	3
LOT DETAIL (1"=50')	4	4

Dewberry
DEWBERRY ENGINEERS, INC.
200 W. WASHINGTON AVE.
SUITE 200
TALLAHASSEE, FL 32301
PHONE: 904.222.2944 FAX: 904.222.0911
CERTIFICATE OF AUTHORIZATION NO. LB 9011

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ORDINANCE NO. 617

AN ORDINANCE AMENDING THE COMPREHENSIVE PLAN OF THE CITY OF PORT ST. JOE, SPECIFICALLY TO ADOPT CITY-INITIATED EVALUATION AND APPRAISAL REVIEW (EAR) BASED AMENDMENTS PURSUANT TO SECTION 163.3191, FLORIDA STATUTES; (1) UPDATE THE GOALS, OBJECTIVES AND POLICIES OF THE FUTURE LAND USE, TRANSPORTATION, HOUSING, INFRASTRUCTURE, COASTAL MANAGEMENT, CONSERVATION, RECREATION AND OPEN SPACE, INTERGOVERNMENTAL COORDINATION, ECONOMIC AND CAPITAL IMPROVEMENTS ELEMENTS OF THE COMPREHENSIVE PLAN, (2) TO UPDATE THE FUTURE LAND USE MAP SERIES; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HERewith AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Local Government Comprehensive Planning and Land Development Regulations Act, Section 163.3161, Florida Statutes, require that each local governments prepare and submit a comprehensive plan of the type set out in that Act, and

WHEREAS, Section 163.3191, Florida Statutes, requires that local governments evaluate their comprehensive development plans to determine if plan amendments are necessary to reflect changes in state requirements since the last update of their comprehensive development plan, and notify the state land planning agency as to its determination; and

WHEREAS, the City provided this notice to the state land planning agency on February 14, 2024, and Section 163.3191, Florida Statutes, requires that local governments who have determined that plan amendments are necessary to reflect changes in state requirements transmit the amendments to the state land planning agency within one year of notification, that date being: March 1, 2025; and

WHEREAS, on February 4, 2025, the Planning and Development Review Board sitting as the local planning agency for the City, recommended transmittal of the amendments to the comprehensive plan of the City; and

WHEREAS, the City Commission desires to adopt the amendments to the current comprehensive plan to guide and control the future development of the City, and to preserve, promote, and protect the public health, safety, and welfare; and

WHEREAS, on February 18, 2025, the Port St. Joe City Commission authorized transmittal of the proposed plan amendment to the appropriate state agencies.

NOW, THEREFORE, BE IT ENACTED BY THE PEOPLE OF THE CITY OF PORT ST. JOE, FLORIDA:

ORDINANCE NO. 617

SECTION 1. APPROVAL

The City of Port St. Joe Comprehensive Plan Is hereby amended as set forth on Exhibit "A".

SECTION 2. CONSISTENCY WITH CITY OF PORT ST. JOE COMPREHENSIVE PLAN

The Board of City Commissioners hereby finds and determines that the approval of the amendments is consistent with the goals, objectives and policies of the City of Port St. Joe Comprehensive Plan as amended.

SECTION 3. ENFORCEMENT

The City may enforce this Ordinance as authorized by law.

SECTION 4. REPEAL

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 5. SEVERABILITY

The provisions of this Ordinance are hereby declared to be severable. If any provision of this Ordinance, or the application thereof, to any person or circumstance is held to be invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid provision or application.

SECTION 6. EFFECTIVE DATE

The effective date of this plan amendment, if the amendment is not timely challenged, shall become effective pursuant to Section 163.3184(3)(c)4., Florida Statutes. If timely challenged, this amendment shall become effective on the date the state land planning agency or the Administration Commission enters a final order determining this adopted amendment to be in compliance. No development orders, development permits, or land uses dependent on this amendment may be issued or commence before it has become effective. If a final order of noncompliance is issued by the Administration Commission, this amendment may nevertheless be made effective by adoption of a resolution affirming its effective status, a copy of which resolution shall be sent to the state land planning agency.

This Ordinance was adopted in open regular meeting after its second reading this _____ day of _____, 2025.

ORDINANCE NO. 617

THE CITY COMMISSION OF THE CITY
OF PORT ST. JOE, FLORIDA

By: _____
Rex Buzzett, Mayor-Commissioner

Attest: _____
Charlotte M. Pierce
City Clerk



Business Impact Estimate for Ordinance 617

AN ORDINANCE OF THE CITY OF PORT ST. JOE, FLORIDA, AMENDING THE CITY'S COMPREHENSIVE PLAN BY ADOPTING THE EVALUATION AND APPRAISAL REVIEW (EAR) BASED COMPREHENSIVE PLAN AMENDMENTS; PROVIDING FOR TRANSMITTAL; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. If one or more boxes are checked below, this means the City is of the view that a business impact estimate is not required by state law¹ for the proposed ordinance, but the City is, nevertheless, providing this Business Impact Estimate as a courtesy:

- ☒ Ordinances required for compliance with federal or state law or regulation;
- ☐ Ordinances related to the issuance or refinancing of debt;
- ☐ Ordinances relating to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- ☐ Ordinances required to implement a contract/agreement;
- ☐ Emergency ordinances;
- ☐ Ordinances relating to procurement;
- ☐ Ordinances enacted to implement the following:
 - a. Development orders and development permits, as those terms are defined in Section 163.3164, F.S. and development agreements, as authorized by the Florida Local Government Development Agreement Act under Sections 163.3220-163.3243, F.S.;
 - b. Comprehensive plan amendments and land development regulation amendments initiated by an application by a private party other than the municipality;
 - c. Section 190.005, F.S. and Section 190.046, F.S.;
 - d. Section 553.73, F.S. (Fla. Building Code);
 - e. Section 633.202, F.S. (Fla. Fire Prevention Code).

¹ See Section 166.041(4)(c), Florida Statutes.



1. Summary of the proposed ordinance (must include a statement of the public purpose, such as serving the public health, safety, morals and welfare):

Section 163.3191(1), Florida Statutes directs local governments to conduct an Evaluation and Appraisal Review (the "EAR") every seven (7) years to determine whether the need exists to amend the comprehensive plan to reflect changes in state requirements since the last time the comprehensive plan was updated. The proposed ordinance adopts EAR-based amendments to the City of Port St. Joe Comprehensive Plan to comply with statutory requirements.

2. Estimate of direct economic impact of the proposed ordinance on private, for-profit businesses in the City, if any:

(a) Estimate of direct compliance costs;

N/A

(b) New charges or fees imposed on Business Impacted; and

N/A

(c) An estimate of the City's regulatory costs, including estimated revenues from any new charges or fees to cover such costs.

N/A

3. Good faith estimate of the number of businesses likely to be impacted by the proposed ordinance:

N/A

4. Additional Information:

N/A

ORDINANCE NO. 619

AN ORDINANCE AMENDING THE COMPREHENSIVE PLAN FUTURE LAND USE MAP OF THE CITY OF PORT ST. JOE, FLORIDA BY AND THROUGH PROCEDURES REQUIRED FOR SMALL-SCALE MAP AMENDMENTS PURSUIT TO AUTHORITY UNDER STATE STATUTES SECTION 163.3187, SPECIFICALLY CHANGING PARCEL ID NUMBER 04571-000R FROM GULF COUNTY RESIDENTIAL TO HIGH DENSITY RESIDENTIAL R-3, PROVIDING FOR AN AMENDMENT OF THE ZONING MAP OF THE CITY OF PORT ST. JOE TO DESIGNATE SAID PARCEL TO RESIDENTIAL R-3; AND PROVIDING FOR REPEAL OF ANY CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 163.3187, Florida Statutes, provides for the authority and procedure for the City Commission of Port St. Joe, Florida to amend its Comprehensive Plan utilizing procedures applicable to small scale developments; and

WHEREAS, on July 14, 2025, the Planning and Development Review Board sitting as the local planning agency for the City, recommended approval of the small-scale amendment to the comprehensive plan and amendment to the Zoning Map of the City; and

WHEREAS, the City Commission desires to adopt the amendment to the current comprehensive plan to guide and control the future development of the City, and to preserve, promote, and protect the public health, safety, and welfare.

NOW, THEREFORE, BE IT ENACTED BY THE PEOPLE OF THE CITY OF PORT ST. JOE, FLORIDA:

SECTION 1. APPROVAL

The City of Port St. Joe Comprehensive Plan Future Land Use Map and Zoning Map are hereby amended as set forth on Exhibit "A" and are hereby changed from Gulf County Residential land use to High Density Residential R-3 and the Zoning to Residential R-3. The application and all documentation submitted by the Applicant in support of it are hereby incorporated by reference.

SECTION 2. CONSISTENCY WITH CITY OF PORT ST. JOE COMPREHENSIVE PLAN

The Board of City Commissioners hereby finds and determines that the approval of the amendment is consistent with the goals, objectives and policies of the City of Port St. Joe Comprehensive Plan as amended.

SECTION 3. ENFORCEMENT

The City may enforce this Ordinance as authorized by law.

SECTION 4. FUTURE LAND USE MAP

Upon this Ordinance becoming effective, the City of Port St. Joe Future Land Use Map shall be amended to show the Property as having a land use of High Density Residential R-3.

SECTION 5. ZONING

The Zoning map of the City of Port St. Joe is hereby amended to show the property described in Exhibit "A" as Residential R-3.

SECTION 6. REPEAL

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 7. SEVERABILITY

The provisions of this Ordinance are hereby declared to be severable. If any provision of this Ordinance, or the application thereof, to any person or circumstance is held to be invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid provision or application.

SECTION 8. EFFECTIVE DATE

This ordinance shall become effective upon adoption as provided by law.

This Ordinance was adopted in open regular meeting after its second reading this _____ day of _____, 2025.

THE CITY COMMISSION OF THE CITY
OF PORT ST. JOE, FLORIDA

By: _____
Rex Buzzett, Mayor-Commissioner

Attest: _____
Charlotte M. Pierce
City Clerk

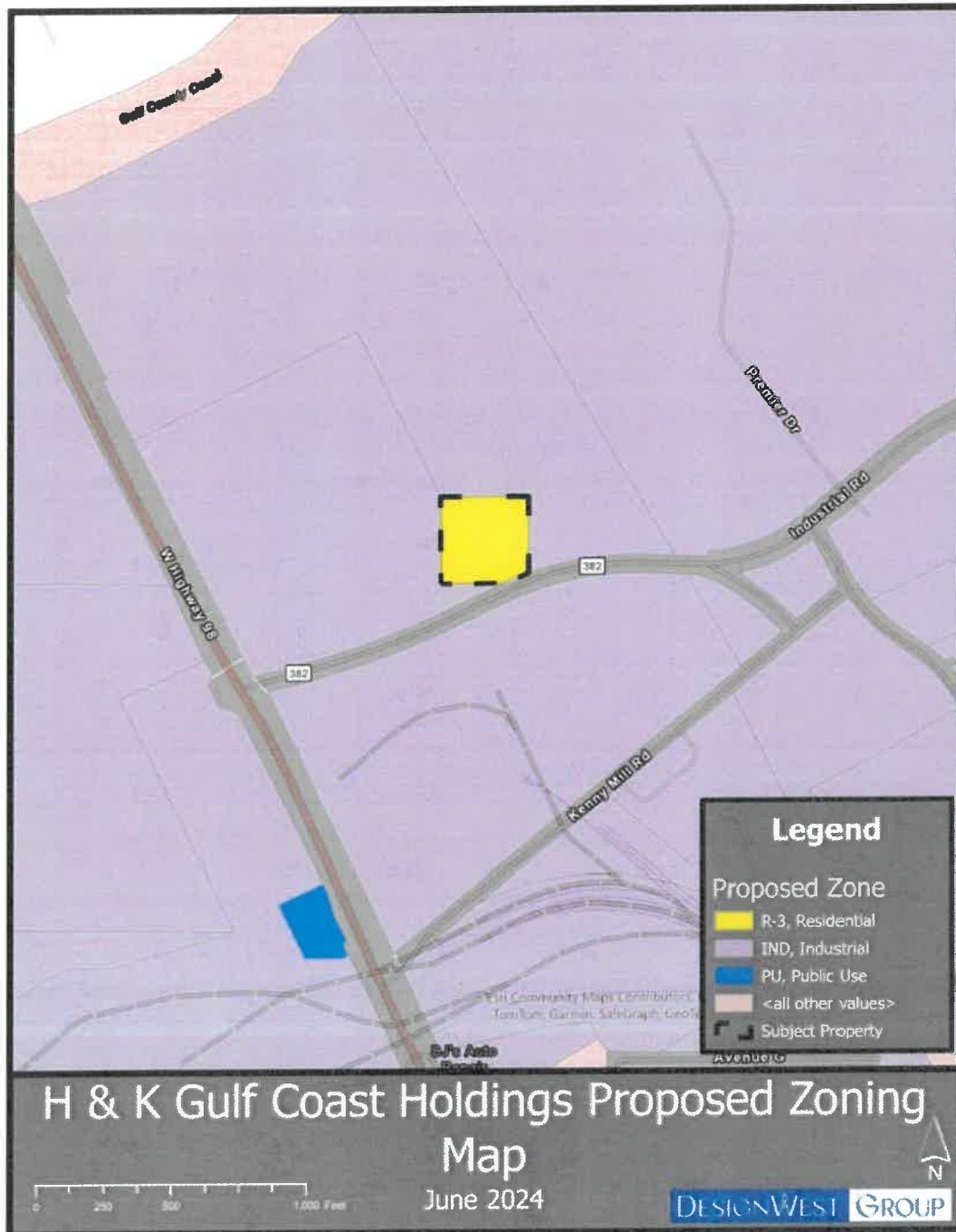
EXHIBIT "A"

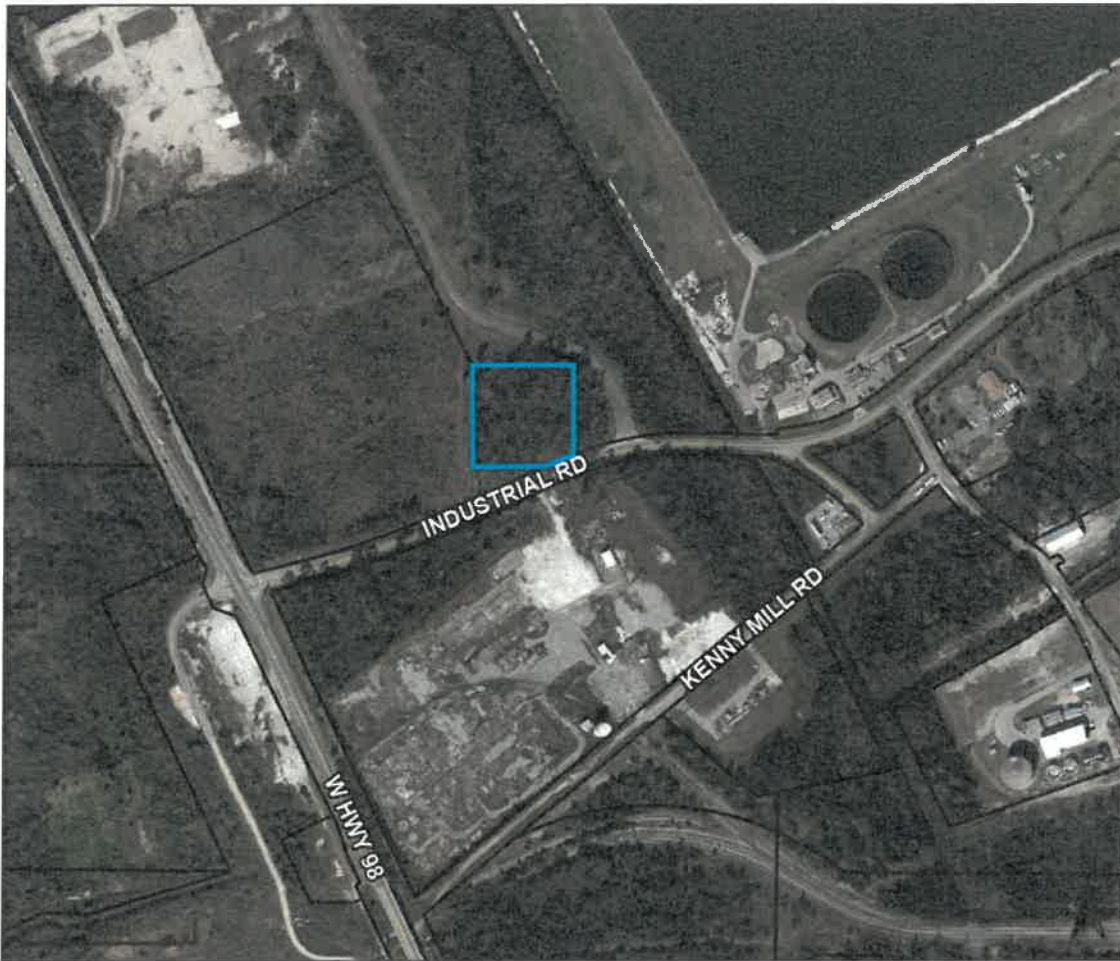
Future Land Use Map:



EXHIBIT "A"

Zoning Map:





Overview



Legend

-  Parcels
-  Roads

Parcel ID	04571-000R	Alternate ID	04571000R	Owner Address	H & K GULF COAST HOLDINGS LLC
Sec/Twp/Rng	35-7S-11W	Class	VACANT		113 MONUMENT AVE
Property Address	INDUSTRIAL RD	Acreage	2.5		PORT ST JOE, FL 32456
	PORT ST JOE				
District	4				
Brief Tax Description	S 35 T 7 R 11 MCCLELLAN &				
	(Note: Not to be used on legal documents)				

Date created: 7/7/2025

Last Data Uploaded: 7/7/2025 2:30:55 AM

Developed by  **SCHNEIDER**
GEOSPATIAL

THIS INSTRUMENT PREPARED BY:
THOMAS S. GIBSON
Rish & Gibson, P.A.
P. O. BOX 39
PORT ST. JOE, FL 32457
File No. 22-0616
Parcel No. 04571-000R

WARRANTY DEED

THIS WARRANTY DEED made 27, October 2022,

by **DAVISSON F. DUNLAP, JR and JANICE DICKENS DUNLAP, husband and wife and BRENDA DICKENS DYE**, hereinafter called the Grantor,

to **H & K GULF COAST HOLDINGS, L.L.C., a Florida limited liability company** whose post office address is 114 Monument Avenue, Port St Joe, FL 32456 , hereinafter called the Grantee.

WITNESSETH: That the Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, the receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in Gulf County, **Florida**, viz

SEE EXHIBIT "A" ATTACHED HERETO AND BY THIS REFERENCE MADE A PART THEREOF.

SUBJECT TO: Covenants, Restrictions and Easements of record, if any.

GRANTOR HEREBY CERTIFIES THAT THE ABOVE DESCRIBED PROPERTY IS NOT HOMESTEAD OF THE GRANTOR.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

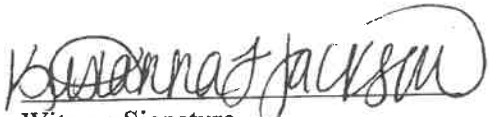
AND the Grantor hereby covenant with said grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrant the title to all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021 and **SUBJECT TO** the Applicable Comprehensive Plan, including developmental regulations and **SUBJECT TO** taxes for the current year and later years and all valid easements.

And Grantor does hereby fully warrant title to said land and will defend the same against

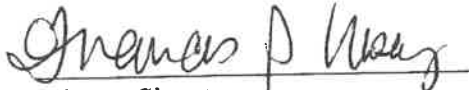
the lawful claims of all persons whomsoever, subject only to any exceptions set forth herein.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

*Signed, sealed and delivered
in our presence:*


Witness Signature
Printed Name: Kristanna L. Jackson

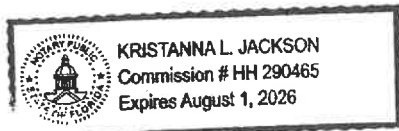

BRENDA DICKENS DYE

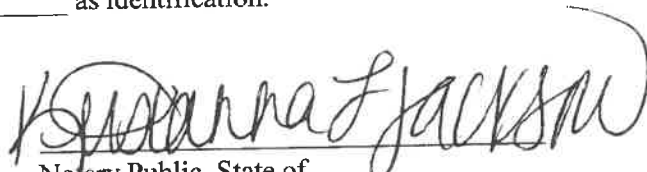

Witness Signature
Printed Name: Frances P. Wray



STATE OF Florida
COUNTY OF Gulf

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this day 27 of October, 2022, by BRENDA DICKENS DYE, ☐ is/are personally known to me or ☒ has/have produced drivers license as identification.




Notary Public, State of _____
My Commission Expires: _____

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
in our presence:

[Signature]
Witness Signature
Printed Name: Frances G Wray

[Signature]
DAVISSON F. DUNLAP, JR

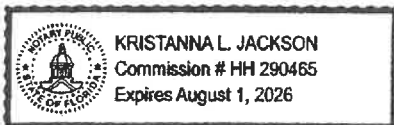
[Signature]
Witness Signature
Printed Name: Kristanna L Jackson

[Signature]
JANICE DICKENS DUNLAP

STATE OF Florida
COUNTY OF Gulf



The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this day 27 of October, 2022, by DAVISSON F. DUNLAP, JR and JANICE DICKENS DUNLAP, husband and wife, ☐ is/are personally known to me or ☒ has/have produced drivers license as identification.



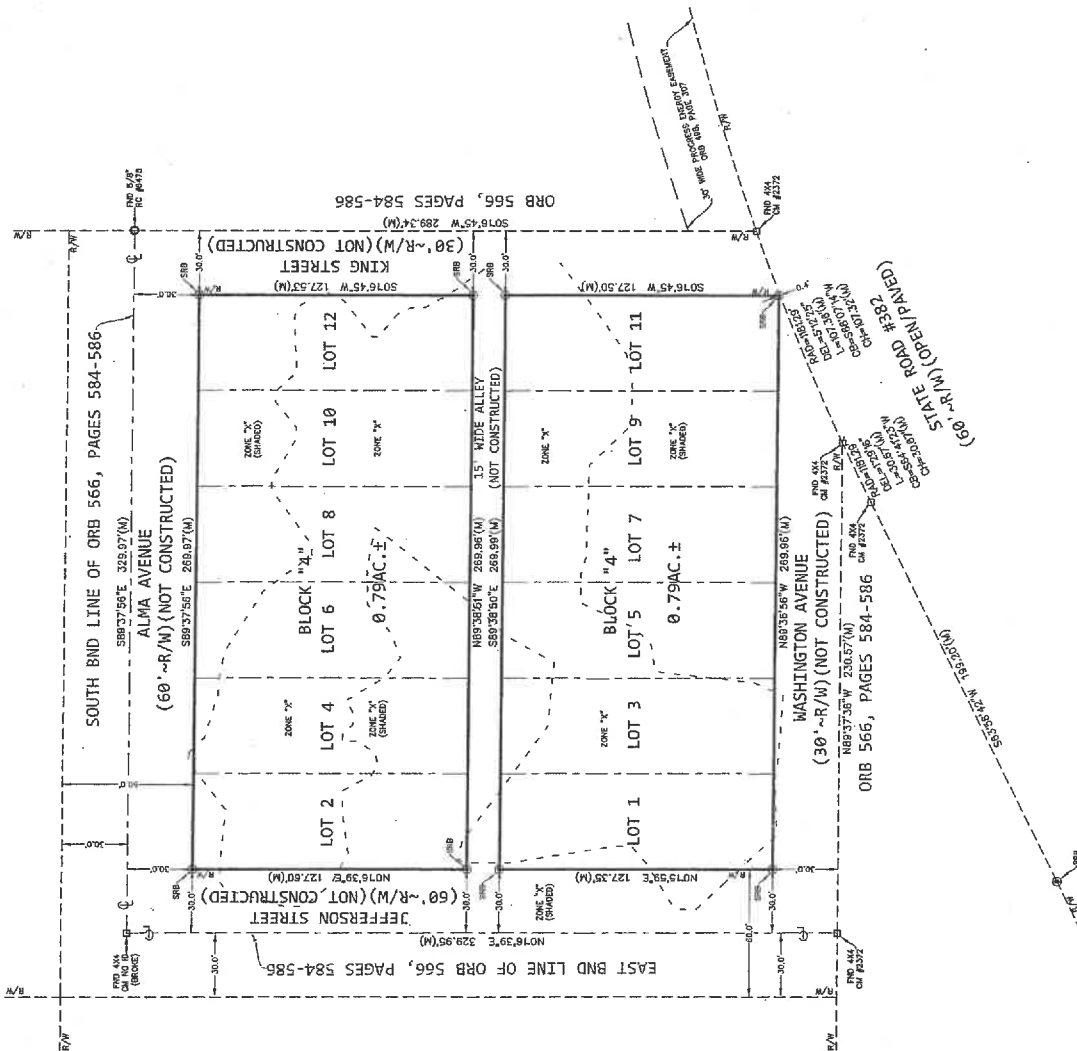
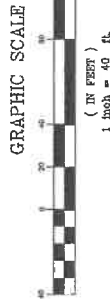
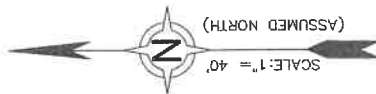
[Signature]
Notary Public, State of _____
My Commission Expires: _____

EXHIBIT "A"

A portion of the southwest quarter of the southeast quarter of the northeast quarter, section thirty-five (35), township seven (7) south, range eleven (11) west, Gulf County, Florida, property I.D. no. 04571-000, also described as lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12, Block 4, of McClellan-Dickinson subdivision of Port St. Joe, Florida, according to the plat thereof recorded in plat book one, page 24, of the public records of Gulf County, Florida.

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, & 12, Block "4", McClellan-Dickinson, a subdivision as per map or plat thereof recorded in Plat Book 1, Page 24 in the Public Records of Gulf County, Florida

1. No improvements were located in this survey other than those shown hereon.
2. No underground encroachments, utilities or foundations were located in this survey.
3. All measurements shown hereon are Standard U.S. Survey Feet, and decimals thereof.
4. As accited from Flood Insurance Rate Map for Gulf County, Florida, Community-Panels Number 120450 0333 H; Date of Firm issued: March 9, 2021. This Property is located in Zone "X", & Zone "X". Shaded.
5. The use of this survey is limited to the specific transaction shown hereon.
6. Subject to zoning setbacks, easements and restrictions of record.
7. Adjoining deeds of record were not provided to this firm.



SURVEYORS * MAPPERS

(550) 926-3016 888-433-4436 FAX (850) 926-8180
 P.O. Box 625 2813 Crawfordville Hwy, Crawfordville, FL 32328

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

Not valid without the signature, embossed official raised seal of a Florida licensed professional engineer.



PFZ — PRELIMINARY FLOOD ZONE
 ORS — OFFICIAL REQUEST BOOK
 CR — CONCRETE CRACKMENT
 POR — POINT OF BEGINNING
 COM — COMBINATION
 SRB — SET 5/8" RE-BAR #475
 SNO — SET NAIL & CAP #475
 PFE — FINISHED FLOOR ELEVATION
 FL — FLOOR
 CL — CEILING
 LP — LIQUID PROPANE
 PP — POWER POLE
 N/C — NAIL AND CAP
 BND — BOUNDARY
 FND — FOUND
 INV — INVERT ELEVATION
 TV — CABLE TELEVISION
 SUPC — ST. JOE PAPER
 OHE — OVERHEAD ELECTRIC
 S — SIDEWALK, DRIVEWAY

- SO - STUB OUT
- ELB - ELECTRIC BOX
- - FND CONCRETE MONUMENT
- - SERVICE POLE
- - FND MONUMENTATION
- EP - EDGE OF PAVEMENT
- ◀ - LIGHT POLE
- CI - CURVE TAG (SEE CURVE TABLE)
- LI - LINE TAG (SEE LINE TABLE)

THIS SURVEY IS CERTIFIED TO:
KAYE HADLOCK:

THIS SURVEY WAS PREPARED FOR THE SOLE BENEFIT OF THE ABOVE CERTIFIED ENTITIES AND/OR INDIVIDUALS AND IS INTENDED TO BE USED FOR THE CURRENT TRANSACTION ONLY. INDIVIDUALS OR ENTITIES WHICH ARE NOT SPECIFICALLY LISTED ABOVE ARE NOT ENTITLED TO Rely UPON THIS BOUNDARY SURVEY FOR ANY PURPOSE. FURTHERMORE, THIS SURVEYOR IS NOT OBLIGATED TO AND WILL NOT SUPPORT THIS BOUNDARY SURVEY TO ANY INDIVIDUAL OR ENTITY WHICH IS NOT SPECIFICALLY LISTED ABOVE.

KAYE HADDOCK

PREPARED BY:
EDWIN G. BROWN AND ASSOCIATES, INC.

Box 625 CRAWFORDVILLE, FL 32328 (850)928-3018

NOTEBOOK/PAGE 683/63	COUNTY: GULF	DRAWN BY: EN	REVIEWED BY: WGB
NOTEBOOK/PAGE	SECTION: 35	SCALE: 1" = 40'	CHECKED BY: WGB
NOTEBOOK/PAGE	TOWNSHIP: 7-SOUTH	SURVEY DATE: NOVEMBER 1, 2022	
NOTEBOOK/PAGE	RANGE: 11-WEST	JOB NUMBER: 750	
SHEET 1 OF 1		22-750	46780

FOOT - FLORIDA DEPARTMENT OF TRANSPORTATION
FDEP - FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

© - SHS 5/8 #8475
CSL - 1975 COASTAL SETBACK LINE

C - CALCULATED
(TYP) - TYPICAL

IMPORTANT NOTICE

The Property Appraiser makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change. This website is NOT TO BE USED FOR FINANCING PURPOSES, INSURANCE PURPOSES, AND/OR ADDRESS VERIFICATION! If you need address verification contact the Emergency Management Addressing office at 850-229-9110

***An Actual Year of 1900 is not a true representation of the Actual Year built. This is a "default" setting where an actual date is not known. The Effective Year is simply reflective of the current market and the condition of the property. The Effective Year is evident by the condition and utility of the structure and may or may not represent the Actual Year Built.**

Parcel Summary

Parcel ID 04571-000R
Location Address INDUSTRIAL RD
PORT ST JOE
Brief Tax Description S 35 T 7 R 11 MCCLELLAN & DICKENS SUBDIVISION PB 1 PG 24 ALL OF BLK 4 ORB 781/506 FR DUNLAP ET AL MAP 49C
(Note: Not to be used on legal documents.)
Property Use Code VACANT (0000)
Sec/Twp/Rng 35-7S-11W
Tax District St Joe Fire Zone (4)
Millage Rate 12.4504
Acreage 2.5
Homestead N

[View Map](#)

Owner Information

Primary Owner
[H & K GULF COAST HOLDINGS LLC](#)
113 MONUMENT AVE
PORT ST JOE, FL 32456

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book/Page	Qualification	Vacant/Improved	Grantor	Grantee
N	10/27/2022	\$200,000	WD	781/506	Qualified	Vacant	DYE DICKENS BRENDA ET AL	H&K GULF COAST HOLDINGS
N	10/6/2003	\$100	CW	0321/0484	Unqualified	Vacant	MOSELY ANNE H	DUNLAP DAVISSON F JR & JANICE
N	9/30/2003	\$100	QC	0319/0932	Unqualified	Vacant	MEIER ROYCE	DYE BRENDA DICKENS ET AL
N	9/8/2003	\$100	QC	0317/0400	Unqualified	Vacant	MOSELY ANNE (MOSELY ESTATE)	DUNLAP DAVISSON F JR & JANICE DICKENS DUNLAP
N	12/13/1998	\$100	PR	0222/0235	Unqualified	Vacant	DICKENS EST.	DYE & DUNLAP

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
Building Value	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0
Land Value	\$175,000	\$175,000	\$75,000	\$75,000
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$175,000	\$175,000	\$75,000	\$0
Just (Market) Value	\$175,000	\$175,000	\$75,000	\$75,000
Assessed Value	\$175,000	\$175,000	\$75,000	\$75,000
Exempt Value	\$0	\$0	\$0	\$0
Taxable Value	\$175,000	\$175,000	\$75,000	\$75,000
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Building Information, Extra Features, Sketches.

The Property Appraiser makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change. This website is NOT TO BE USED FOR FINANCING PURPOSES, INSURANCE PURPOSES, AND/OR ADDRESS VERIFICATION! If you need address verification contact the Emergency Management Addressing office at 850-229-9110
[| User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 7/7/2025, 2:30:55 AM

[Contact Us](#)

Developed by
 **SCHNEIDER**
 GEOSPATIAL

**CITY OF PORT ST. JOE
COMPREHENSIVE PLAN
SMALL SCALE MAP AMENDMENT
AND ZONING APPLICATION**

Prepared for:

H and K Gulf Coast Holdings, L.L.C.
113 Monument Avenue
Port St. Joe, Florida 32456

Prepared by:

DESIGNWEST GROUP
2910 Kerry Forest Parkway
Suite D4-126
Tallahassee, Florida 32309

June 2025

Agent Contact Information

Raymond W. Greer, AICP
DesignWest Group
Project Manager
2910 Kerry Forest Parkway
Suite D4-126
Tallahassee, Florida 32309
Phone: 850.545.6503

Property Information

Property Ownership:

H and K Gulf Coast Holdings, L.L.C.
113 Monument Avenue
Port St. Joe, Florida 32456

Property Deed Information:

Warranty Deed dated October 27, 2022. Recorded in Deed Book 781, Page 506, Public Records of Gulf County, Florida.

Property Identification Numbers:

04571-000R

Property Description:

2.5+/- acre (Amendment Area) located on the west side of Industrial Road and consisting of a portion of the Southwest Quarter of the Southeast Quarter of the Northeast Quarter, Section Thirty Five (35), Township Seven (7) South, Range Eleven (11) West, Gulf County, Florida, Property I.D. No. 04571-000R, Also Described As Lots L, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, And 12, Block 4, Of McClellan-Dickinson Subdivision Of Port St. Joe, Florida, According to the Plat Thereof Recorded In Plat Book One, Page 24, Of The Public Records of Gulf County, Florida.

Small Scale Land Use Map Amendment and Rezoning Request

Existing Future Land Use Map Designation: Gulf County Residential

Proposed Future Land Use Map Designation: High Density Residential R-3

Existing Zoning District: Gulf County N/A

Proposed Zoning District: Residential R-3

Maps

- a) Existing Future Land Use Map
- b) Proposed Future Land Use Map
- c) Existing Zoning Map
- d) Proposed Zoning Map



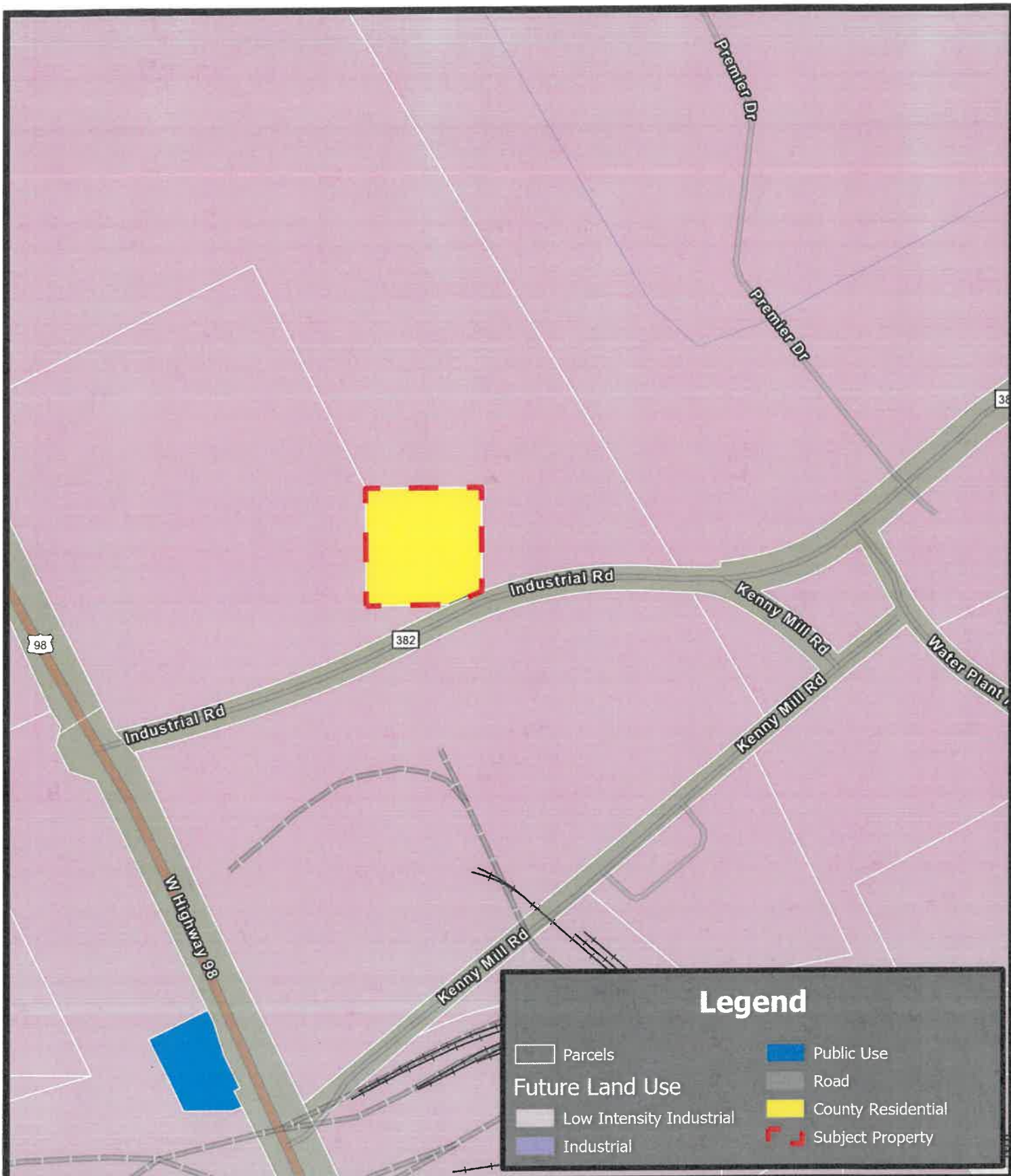
H & K Gulf Coast Holdings Location Map

June 2025

DESIGNWEST GROUP



0 170 340 680 Feet



H & K Gulf Coast Holdings Future Land Use Map

June 2025

0 200 400 800 Feet

DESIGNWEST GROUP



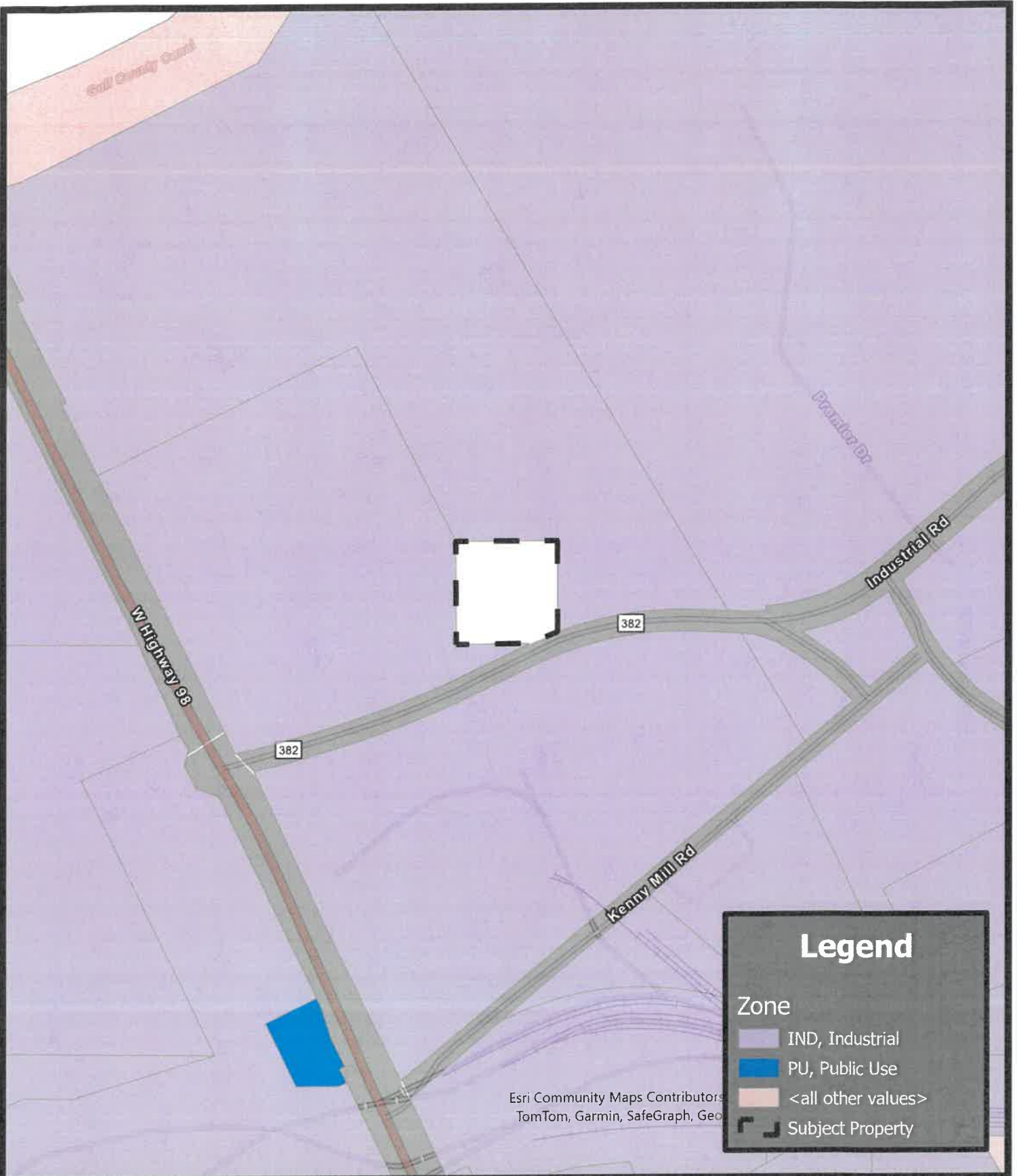
H & K Gulf Coast Holdings Proposed Future Land Use Map

0 230 460 920 Feet

June 2025

DESIGNWEST GROUP



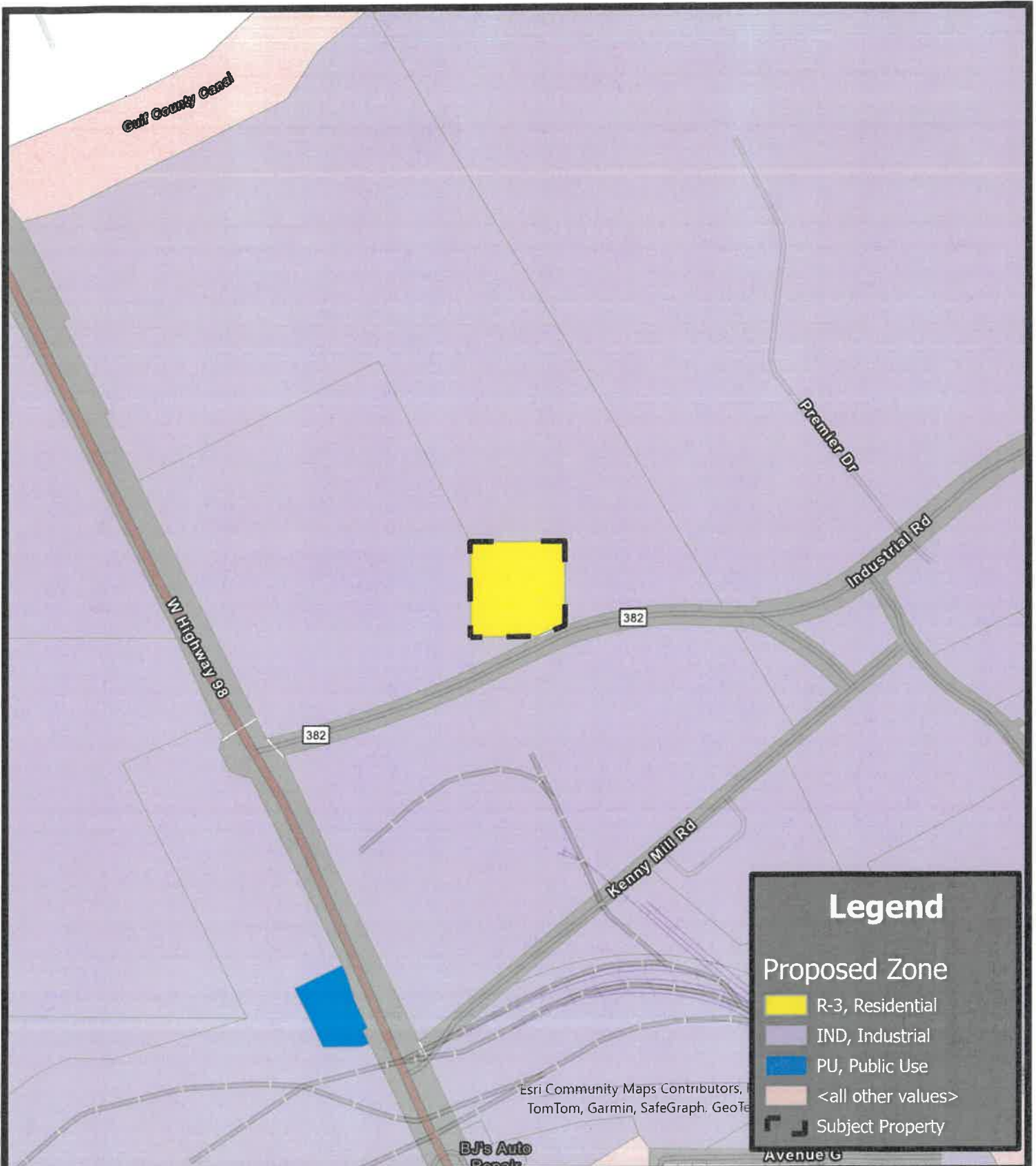


H & K Gulf Coast Holdings Zoning Map

June 2025

0 230 460 920 Feet

DESIGN WEST GROUP



H & K Gulf Coast Holdings Proposed Zoning Map

June 2024

DESIGNWEST GROUP

City of Port St. Joe Application

**CITY OF PORT ST. JOE FUTURE LAND USE MAP
AMENDMENT APPLICATION**

Property Address: Industrial Road Current Land Use: Residential (County)
Property Owner: H & K Gulf Coast Holdings Proposed Land Use: Residential R-3
Mailing Address: 113 Monument Avenue, Port St. Joe Florida 32456

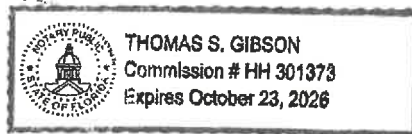
Phone: (850) 545-6503

Applicant if Different: Raymond W. Greer

Parcel Number: 04571-000R

Patricia Kaye Haddad 4/24/25
Owners Signature Date

Sworn to and subscribed before me this 24 day of April. Personally Known
OR Produced Identification.
Type Provided _____.



[Signature]
Signature of Notary

PUBLIC NOTICE

1. A sign will be posted for two weeks on the property seeking the change and a notice will be published in the local newspaper.

APPLICATION REQUIREMENTS

Application Fee: Small Scale Amendment - \$500.00 – Large Scale Amendment \$2,000.00

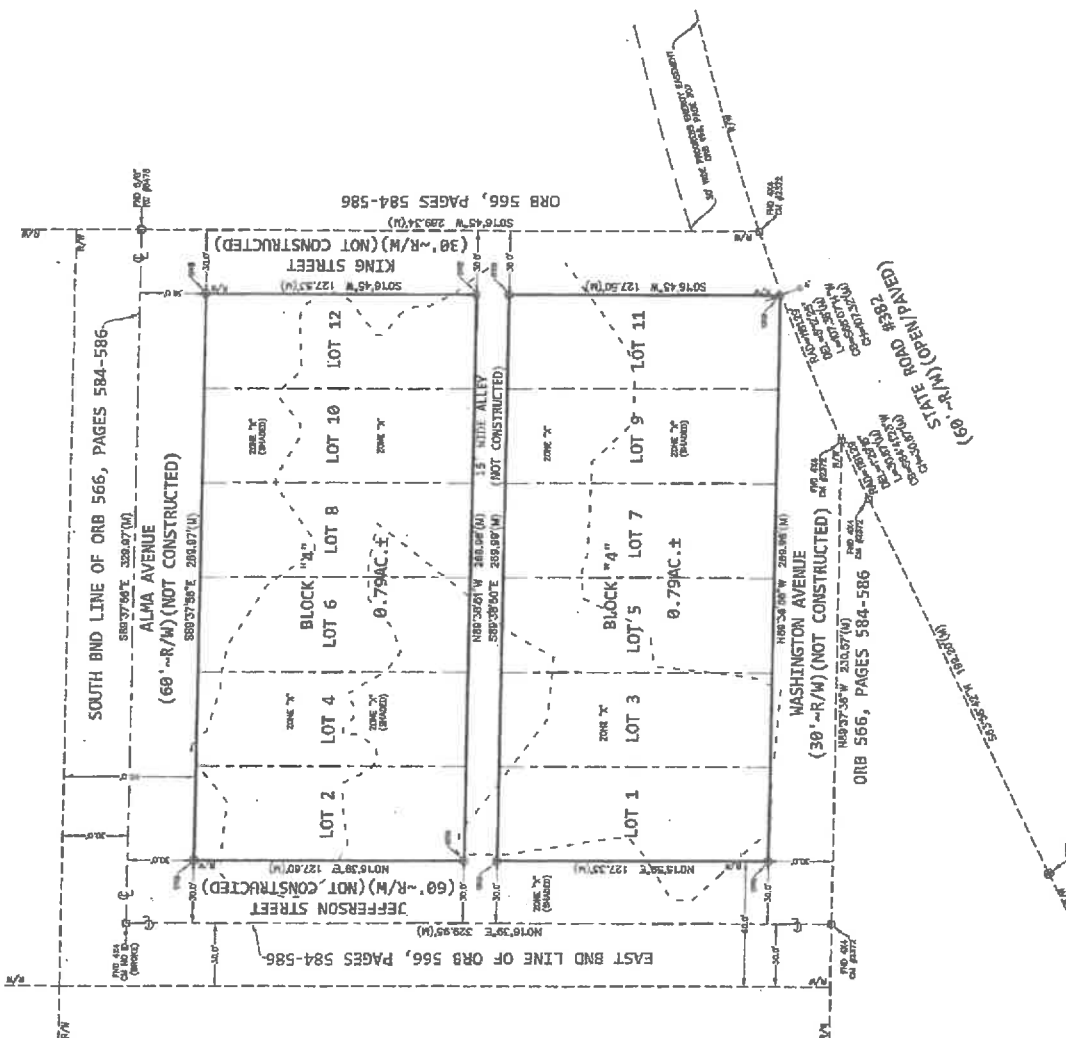
Legal Description of Property

Copy of Deed

Copy of Survey

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, & 12, Block "4", McClellan-Dickinson, a subdivision on per map or plat thereof recorded in Plat Book 1, Page 24 in the Public Records of Gulf County, Florida

1. No improvements were located in this survey other than those shown hereon.
2. No underground encroachments, utilities or foundations were located in this survey.
3. All measurements shown hereon are Standard U.S. Survey Feet, and decimals thereof.
4. As indicated from Flood Insurance Rate Map for Gulf County, Florida, Community-Political Number 120450 0333 H; Date of Firm Index: March 9, 2021. This Property is located in Zone "X", & Zone "X" Shaded.
5. The use of this survey is limited to the specific transaction shown hereon.
6. Subject to zoning setbacks, assessments and restrictions of record.
7. Adjoining deeds of record were not provided to this firm.



THIS SURVEY WAS PREPARED FOR THE SOLE BENEFIT OF THE ABOVE CERTIFIED ENTITIES AND/OR INDIVIDUALS AND IS INTENDED TO BE USED FOR THE CURRENT TRANSACTION ONLY. INDIVIDUALS OR ENTITIES WHICH ARE NOT SPECIFICALLY LISTED ABOVE ARE NOT ENTITLED TO RELY UPON THIS BOUNDARY SURVEY FOR ANY PURPOSE. FURTHERMORE, THIS SURVEYOR IS NOT OBLIGATED TO AND WILL NOT SUPPORT THIS BOUNDARY SURVEY WITH RESPECT TO ANY INDIVIDUAL OR ENTITY WHICH IS NOT SPECIFICALLY LISTED ABOVE.

FLAT OF BOUNDARY SURVEY PREPARED FOR

KAYE HADDOCK

2008

EDWIN G. BROWN AND ASSOCIATES, INC.
 10000 WILSON BLVD., SUITE 100
 WILSON, N.C. 27157
 704/363-1100
 FAX 704/363-1101
 E-MAIL: EGBROWN@AOL.COM
 WWW.EDWINGBROWN.COM

CRANFORDVILLE HWY. P.O. BOX 925 CRANFORDVILLE, FL 32036 (850)249-3418

DATE	FILE NO.	FILED	FILED
10/10/00	100-443887	10/10/00	10/10/00

SECTION: 20 SCALE: 1" = 40'

10-2	10-3	10-4	10-5	10-6	10-7	10-8	10-9	10-10	10-11	10-12	10-13	10-14	10-15	10-16	10-17	10-18	10-19	10-20	10-21	10-22	10-23	10-24	10-25	10-26	10-27	10-28	10-29	10-30	10-31	10-32	10-33	10-34	10-35	10-36	10-37	10-38	10-39	10-40	10-41	10-42	10-43	10-44	10-45	10-46	10-47	10-48	10-49	10-50	10-51	10-52	10-53	10-54	10-55	10-56	10-57	10-58	10-59	10-60	10-61	10-62	10-63	10-64	10-65	10-66	10-67	10-68	10-69	10-70	10-71	10-72	10-73	10-74	10-75	10-76	10-77	10-78	10-79	10-80	10-81	10-82	10-83	10-84	10-85	10-86	10-87	10-88	10-89	10-90	10-91	10-92	10-93	10-94	10-95	10-96	10-97	10-98	10-99	10-100	10-101	10-102	10-103	10-104	10-105	10-106	10-107	10-108	10-109	10-110	10-111	10-112	10-113	10-114	10-115	10-116	10-117	10-118	10-119	10-120	10-121	10-122	10-123	10-124	10-125	10-126	10-127	10-128	10-129	10-130	10-131	10-132	10-133	10-134	10-135	10-136	10-137	10-138	10-139	10-140	10-141	10-142	10-143	10-144	10-145	10-146	10-147	10-148	10-149	10-150	10-151	10-152	10-153	10-154	10-155	10-156	10-157	10-158	10-159	10-160	10-161	10-162	10-163	10-164	10-165	10-166	10-167	10-168	10-169	10-170	10-171	10-172	10-173	10-174	10-175	10-176	10-177	10-178	10-179	10-180	10-181	10-182	10-183	10-184	10-185	10-186	10-187	10-188	10-189	10-190	10-191	10-192	10-193	10-194	10-195	10-196	10-197	10-198	10-199	10-200	10-201	10-202	10-203	10-204	10-205	10-206	10-207	10-208	10-209	10-210	10-211	10-212	10-213	10-214	10-215	10-216	10-217	10-218	10-219	10-220	10-221	10-222	10-223	10-224	10-225	10-226	10-227	10-228	10-229	10-230	10-231	10-232	10-233	10-234	10-235	10-236	10-237	10-238	10-239	10-240	10-241	10-242	10-243	10-244	10-245	10-246	10-247	10-248	10-249	10-250	10-251	10-252	10-253	10-254	10-255	10-256	10-257	10-258	10-259	10-260	10-261	10-262	10-263	10-264	10-265	10-266	10-267	10-268	10-269	10-270	10-271	10-272	10-273	10-274	10-275	10-276	10-277	10-278	10-279	10-280	10-281	10-282	10-283	10-284	10-285	10-286	10-287	10-288	10-289	10-290	10-291	10-292	10-293	10-294	10-295	10-296	10-297	10-298	10-299	10-300	10-301	10-302	10-303	10-304	10-305	10-306	10-307	10-308	10-309	10-310	10-311	10-312	10-313	10-314	10-315	10-316	10-317	10-318	10-319	10-320	10-321	10-322	10-323	10-324	10-325	10-326	10-327	10-328	10-329	10-330	10-331	10-332	10-333	10-334	10-335	10-336	10-337	10-338	10-339	10-340	10-341	10-342	10-343	10-344	10-345	10-346	10-347	10-348	10-349	10-350	10-
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1	RANGE: 11-TEST	JOB NUMBER	PRICE
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	22-750	4678
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PFZ	PROBABILITY FLOOD ZONE	PC	POINT OF CURVE
Q	QUANTITY	PE	PERCENT
QTA	QUANTITY TAKE	PG	PERCENT
QTC	QUANTITY TAKE	PH	PERCENT
QTD	QUANTITY TAKE	PI	PERCENT
QTE	QUANTITY TAKE	PL	PERCENT
QTF	QUANTITY TAKE	PM	PERCENT
QTG	QUANTITY TAKE	PN	PERCENT
QTH	QUANTITY TAKE	PO	PERCENT
QTI	QUANTITY TAKE	PP	PERCENT
QTO	QUANTITY TAKE	PR	PERCENT
QTP	QUANTITY TAKE	PS	PERCENT
QTT	QUANTITY TAKE	PT	PERCENT
QTV	QUANTITY TAKE	PU	PERCENT
QTW	QUANTITY TAKE	PV	PERCENT
QTX	QUANTITY TAKE	PW	PERCENT
QTY	QUANTITY TAKE	PX	PERCENT
QTZ	QUANTITY TAKE	PY	PERCENT
QUA	QUANTITY TAKE	PZ	PERCENT
QUB	QUANTITY TAKE	QA	QUANTITY TAKE
QUC	QUANTITY TAKE	QB	QUANTITY TAKE
QUD	QUANTITY TAKE	QC	QUANTITY TAKE
QUE	QUANTITY TAKE	QD	QUANTITY TAKE
QUF	QUANTITY TAKE	QE	QUANTITY TAKE
QUG	QUANTITY TAKE	QF	QUANTITY TAKE
QUH	QUANTITY TAKE	QG	QUANTITY TAKE
QUI	QUANTITY TAKE	QH	QUANTITY TAKE
QUJ	QUANTITY TAKE	QI	QUANTITY TAKE
QUK	QUANTITY TAKE	QJ	QUANTITY TAKE
QUL	QUANTITY TAKE	QK	QUANTITY TAKE
QUM	QUANTITY TAKE	QL	QUANTITY TAKE
QUN	QUANTITY TAKE	QM	QUANTITY TAKE
QUO	QUANTITY TAKE	QN	QUANTITY TAKE
QUP	QUANTITY TAKE	QO	QUANTITY TAKE
QUQ	QUANTITY TAKE	QP	QUANTITY TAKE
QUR	QUANTITY TAKE	QQ	QUANTITY TAKE
QUS	QUANTITY TAKE	QR	QUANTITY TAKE
QUT	QUANTITY TAKE	QS	QUANTITY TAKE
QUV	QUANTITY TAKE	QT	QUANTITY TAKE
QUW	QUANTITY TAKE	QU	QUANTITY TAKE
QUX	QUANTITY TAKE	QV	QUANTITY TAKE
QUY	QUANTITY TAKE	QW	QUANTITY TAKE
QUZ	QUANTITY TAKE	QX	QUANTITY TAKE
QVA	QUANTITY TAKE	QY	QUANTITY TAKE
QVB	QUANTITY TAKE	QZ	QUANTITY TAKE
QVC	QUANTITY TAKE	QA	QUANTITY TAKE
QVD	QUANTITY TAKE	QB	QUANTITY TAKE
QVE	QUANTITY TAKE	QC	QUANTITY TAKE
QVF	QUANTITY TAKE	QD	QUANTITY TAKE
QVG	QUANTITY TAKE	QE	QUANTITY TAKE
QVH	QUANTITY TAKE	QF	QUANTITY TAKE
QVI	QUANTITY TAKE	QG	QUANTITY TAKE
QVJ	QUANTITY TAKE	QH	QUANTITY TAKE
QVK	QUANTITY TAKE	QI	QUANTITY TAKE
QVL	QUANTITY TAKE	QJ	QUANTITY TAKE
QVM	QUANTITY TAKE	QK	QUANTITY TAKE
QVN	QUANTITY TAKE	QL	QUANTITY TAKE
QVO	QUANTITY TAKE	QM	QUANTITY TAKE
QVP	QUANTITY TAKE	QN	QUANTITY TAKE
QVQ	QUANTITY TAKE	QO	QUANTITY TAKE
QVR	QUANTITY TAKE	QP	QUANTITY TAKE
QVS	QUANTITY TAKE	QQ	QUANTITY TAKE
QVT	QUANTITY TAKE	QR	QUANTITY TAKE
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QVV	QUANTITY TAKE	QT	QUANTITY TAKE
QVW	QUANTITY TAKE	QU	QUANTITY TAKE
QVX	QUANTITY TAKE	QV	QUANTITY TAKE
QVY	QUANTITY TAKE	QW	QUANTITY TAKE
QVZ	QUANTITY TAKE	QX	QUANTITY TAKE
QWA	QUANTITY TAKE	QY	QUANTITY TAKE
QWB	QUANTITY TAKE	QZ	QUANTITY TAKE
QWC	QUANTITY TAKE	QA	QUANTITY TAKE
QWD	QUANTITY TAKE	QB	QUANTITY TAKE
QWE	QUANTITY TAKE	QC	QUANTITY TAKE
QWF	QUANTITY TAKE	QD	QUANTITY TAKE
QWG	QUANTITY TAKE	QE	QUANTITY TAKE
QWH	QUANTITY TAKE	QF	QUANTITY TAKE
QWI	QUANTITY TAKE	QG	QUANTITY TAKE
QWJ	QUANTITY TAKE	QH	QUANTITY TAKE
QWK	QUANTITY TAKE	QI	QUANTITY TAKE
QWL	QUANTITY TAKE	QJ	QUANTITY TAKE
QWM	QUANTITY TAKE	QK	QUANTITY TAKE
QWN	QUANTITY TAKE	QL	QUANTITY TAKE
QWO	QUANTITY TAKE	QM	QUANTITY TAKE
QWP	QUANTITY TAKE	QN	QUANTITY TAKE
QWQ	QUANTITY TAKE	QO	QUANTITY TAKE
QWR	QUANTITY TAKE	QP	QUANTITY TAKE
QWS	QUANTITY TAKE	QQ	QUANTITY TAKE
QWT	QUANTITY TAKE	QR	QUANTITY TAKE
QWU	QUANTITY TAKE	QS	QUANTITY TAKE
QWV	QUANTITY TAKE	QT	QUANTITY TAKE
QWW	QUANTITY TAKE	QU	QUANTITY TAKE
QWX	QUANTITY TAKE	QV	QUANTITY TAKE
QWY	QUANTITY TAKE	QW	QUANTITY TAKE
QWZ	QUANTITY TAKE	QX	QUANTITY TAKE
QXA	QUANTITY TAKE	QY	QUANTITY TAKE
QXB	QUANTITY TAKE	QZ	QUANTITY TAKE
QXC	QUANTITY TAKE	QA	QUANTITY TAKE
QXD	QUANTITY TAKE	QB	QUANTITY TAKE
QXE	QUANTITY TAKE	QC	QUANTITY TAKE
QXF	QUANTITY TAKE	QD	QUANTITY TAKE
QXG	QUANTITY TAKE		

EDWYN BROWN & ASSOCIATES

SURVEYORS • MAPPERS

1 924-3018 888-433-6438 FAX (850) 976-9100

on 020 7813 Crowderdale Hwy Crowborough, TN 32328

has not been provided a current title, opinion or title or boundary to the subject property.

of records, unrecorded deeds, easements or

boundaries,

1000

ADDIS ABABA—The Ethiopian government has announced that it will not accept the 1993 constitution, which was approved by referendum in May 1994. The government says the constitution is "incompatible with the Ethiopian people's desire for a unitary state."

NO 5000
MAY 10 1966
U.S. DEPT. OF AGRICULTURE

2007

Vote of

Figure 1

1

100

Property Deed

THIS INSTRUMENT PREPARED BY:
THOMAS S. GIBSON
Rish & Gibson, P.A.
P. O. BOX 39
PORT ST. JOE, FL 32457
File No. 22-0616
Parcel No. 04571-000R

WARRANTY DEED

THIS WARRANTY DEED made 27, October 2022,

by DAVISSON F. DUNLAP, JR and JANICE DICKENS DUNLAP, husband and wife and BRENDA DICKENS DYE, hereinafter called the Grantor,

to H & K GULF COAST HOLDINGS, L.L.C., a Florida limited liability company whose post office address is 114 Monument Avenue, Port St Joe, FL 32456 , hereinafter called the Grantee.

WITNESSETH: That the Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, the receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in Gulf County, **Florida**, viz

SEE EXHIBIT "A" ATTACHED HERETO AND BY THIS REFERENCE MADE A PART THEREOF.

SUBJECT TO: Covenants, Restrictions and Easements of record, if any.

GRANTOR HEREBY CERTIFIES THAT THE ABOVE DESCRIBED PROPERTY IS NOT HOMESTEAD OF THE GRANTOR.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

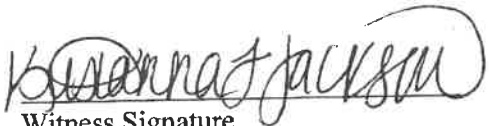
AND the Grantor hereby covenant with said grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrant the title to all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021 and **SUBJECT TO** the Applicable Comprehensive Plan, including developmental regulations and **SUBJECT TO** taxes for the current year and later years and all valid easements.

And Grantor does hereby fully warrant title to said land and will defend the same against

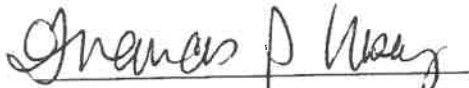
the lawful claims of all persons whomsoever, subject only to any exceptions set forth herein.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

*Signed, sealed and delivered
in our presence:*


Witness Signature
Printed Name: Kristanna L. Jackson

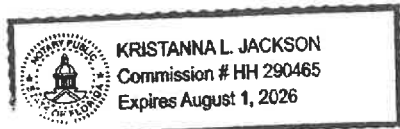

BRENDA DICKENS DYE

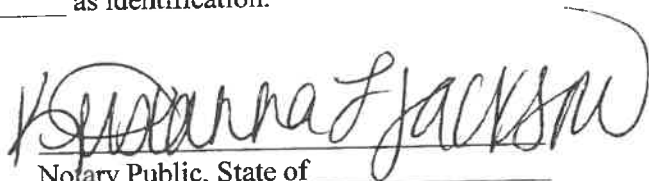

Witness Signature
Printed Name: Frances P. Wray



STATE OF Florida
COUNTY OF Gulf

The foregoing instrument was acknowledged before me by means of ☒ **physical presence** or ☐ **online notarization**, this day 27 of October, 2022, by **BRENDA DICKENS DYE**, ☐ is/are personally known to me or ☒ has/have produced drivers license as identification.




Notary Public, State of _____
My Commission Expires: _____

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

*Signed, sealed and delivered
in our presence:*

Frances G. Wray
Witness Signature
Printed Name: Frances G. Wray

DAVISSON F. DUNLAP, JR
DAVISSON F. DUNLAP, JR

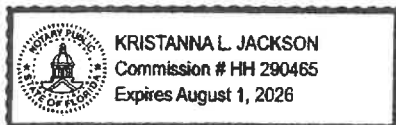
Kristanna L. Jackson
Witness Signature
Printed Name: Kristanna L. Jackson

JANICE DICKENS DUNLAP
JANICE DICKENS DUNLAP

STATE OF Florida
COUNTY OF Gulf



The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this day 27 of October, 2022, by **DAVISSON F. DUNLAP, JR and JANICE DICKENS DUNLAP, husband and wife**, ☐ is/are personally known to me or ☒ has/have produced drivers license as identification.



Kristanna L. Jackson
Notary Public, State of _____
My Commission Expires: _____

EXHIBIT "A"

A portion of the southwest quarter of the southeast quarter of the northeast quarter, section thirty-five (35), township seven (7) south, range eleven (11) west, Gulf County, Florida, property I.D. no. 04571-000, also described as lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12, Block 4, of McClellan-Dickinson subdivision of Port St. Joe, Florida, according to the plat thereof recorded in plat book one, page 24, of the public records of Gulf County, Florida.

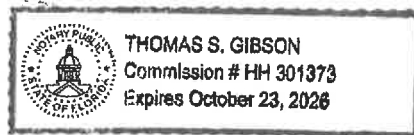
**CITY OF PORT ST. JOE FUTURE LAND USE MAP
AMENDMENT APPLICATION**

Property Address: Industrial Road Current Land Use: Residential (County)
Property Owner: H & K Gulf Coast Holdings Proposed Land Use: Residential R-3
Mailing Address: 113 Monument Avenue, Port St. Joe Florida 32456

Phone: (850) 545-6503
Applicant if Different: Raymond W. Greer
Parcel Number: 04571-000R

Patricia Kaye Hodges 4/24/25
Owners Signature Date

Sworn to and subscribed before me this 24 day of April. Personally Known
OR Produced Identification.
Type Provided _____.



[Signature]
Signature of Notary.

PUBLIC NOTICE

1. A sign will be posted for two weeks on the property seeking the change and a notice will be published in the local newspaper.

APPLICATION REQUIREMENTS

Application Fee: Small Scale Amendment - \$500.00 – Large Scale Amendment \$2,000.00

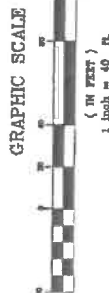
Legal Description of Property

Copy of Deed

Copy of Survey

LEGAL DESCRIPTION
Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, & 12, Block "4", McMillan-Dickinson, a subdivision as per map or plat thereof recorded in Plat Book 1, Page 24 in the Public Records of Gulf County, Florida

1. No improvements were located in this survey other than those shown hereon.
2. No underground encroachments, utilities or foundations were located in this survey.
3. All measurements shown hereon are Standard U.S. Survey Feet, and decimals thereof.
4. As located from Flood Insurance Rate Map for Gulf County, Florida, Community-
Panel Number 120490 0333 H; Date of Firm Index: March 9, 2021. This
Property is located in Zone "X", & Zone "X" Shaded.
5. The use of this survey is limited to the specific transaction shown hereon.
6. Subject to zoning setbacks, easements and restrictions of record.
7. As-filing deeds of record were not provided to this firm.



THIS SURVEY IS CERTIFIED TO:
KAYE HADDOCK

THIS SURVEY WAS PREPARED FOR THE SOLE BENEFIT OF THE ABOVE CERTIFIED ENTITIES AND/OR INDIVIDUALS AND IS INTENDED TO BE USED FOR THE CURRENT TRANSACTION ONLY. INDIVIDUALS OR ENTITIES WHICH ARE NOT SPECIFICALLY LISTED ABOVE ARE NOT ENTITLED TO RELY UPON THIS BOUNDARY SURVEY FOR ANY PURPOSE. FURTHERMORE, THIS SURVEY IS NOT OBLIGATED TO AND WILL NOT SUPPORT THIS BOUNDARY SURVEY OF ANY INDIVIDUAL OR ENTITY WHICH IS NOT SPECIFICALLY LISTED ABOVE.

PLAT OF BOUNDARY SURVEY PREPARED FOR

KAYE HADDOCK

PREPARED BY:
EDWIN G. BROWN AND ASSOCIATES, INC.

200 WEST G. LINDLEY AND ASSOCIATES, INC.
113 CHAMFORDVILLE HWY. P.O. BOX 125 CHAMFORDVILLE, FL 32008 / 904-888-3918

PERSONIC/NAME	DATE	COUNTY	DATE	REVIEWED BY	WGB
OUTLOOK/NAME		SECTION	NO	SCALE	1 = 40
OUTLOOK/NAME		TO WRIGHT	7-500718	SURVEY DATE	NOVEMBER 1, 2002

SHEET 1 OF 1	BOARDS 13-1801	NO. BOARD	PRICE
		22-750	46780

30 = SPRING OUT
 DA = ELECTRIC BOX
 F = PRO CONCRETE FOUNDMENT
 ☆ = SERVICE POLE
 ○ = PRO MONUMENTATION
 EP = EDGE OF PAVEMENT
 L = LIGHT POLE
 G1 = CURVE TAP (SEE CURVE TABLE)
 L1 = NEW TAP
 T = TURNPIKE

R - RANGE
 B - BOUNDARY
 S - SOUTH
 E - EAST
 N - NORTH
 C - CALCULATED POINT
 P - PIER
 E - EDGE OF ROAD
 D - DRAIN
 S - SAND
 T - TANK
 T - TIE POINT OF TRANSIT
 T - TURNING
 P - POWER POLE
 S - SAND
 S - 5/8" PIPES
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 S - 1 1/2" PIPES
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PFZ - PRELIMINARY FLOOD ZONE
 ORB - OFFICIAL RECORDS BOOK
 CA - CONCRETE CURBMENT
 POB - POINT OF BEGINNING
 POC - POINT OF COMMENCEMENT
 SRS - SET 9/47 RE-BAR, #4/475
 RND - SET 9/47 & CAP #475
 FFE - FINISHED FLOOR ELEVATION
 EL - ELEVATION
 TBM - TEMPORARY BENCHMARK
 S - SET
 D - DIST.

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RCD PIPE
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(TYPE) - TYPICAL

EDWIN BROWN & ASSOCIATES

SURVEYORS • MAPPERS

(050) 922-3016 FAX (050) 926-0107
O. Box 925 2113 Cose/Profile Hwy Crawfordville GA 32328

has not been provided a current title, opinion or citation title or heading to the subject's summary.

eds of records, unrecorded deeds, easements or

Countdown to the 2000 Presidential Election

patient information

7207



100

1. *Journal of Management Studies*, 1997, 34, 1, 1-14.

The undersigned surveyor has not been provided a current title, opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

Not valid without the signature and seal of a Florida licensed real estate broker.

WADE G. BROWN
NO. 1900
STATE OF
LOUISIANA
JAN 20 2022

Surveyor & Mapper
Florida Certificate No.
(LB# 6475)

ORDINANCE NO. 620

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF PORT ST. JOE, FLORIDA, SPECIFICALLY CHANGING THE ZONING DESIGNATION OF PARCEL ID NUMBER 03040-150R FROM COMMERCIAL C-1 AND RESIDENTIAL R-1 TO PUBLIC USE, AND PROVIDING FOR REPEAL OF ANY CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Chapter 163, Florida Statutes, empowers the City Commission of the City of Port St. Joe, Florida, to prepare and enforce Land Development Regulations for the implementation of the adopted Comprehensive Plan; and

WHEREAS, on July 14, 2025, the Planning and Development Review Board sitting as the local planning agency for the City, recommended approval of the amendment to the Official Zoning Map of the City; and

WHEREAS, the City Commission desires to adopt the amendment to the Official Zoning Map to guide and control the future development of the City, and to preserve, promote, and protect the public health, safety, and welfare; and

NOW, THEREFORE, BE IT ENACTED BY THE PEOPLE OF THE CITY OF PORT ST. JOE, FLORIDA:

SECTION 1. APPROVAL

The City of Port St. Joe Official Zoning Map is hereby amended and the Parcel is hereby changed from Commercial C-1 and Residential R-1 Zoning Districts to Public Use Zoning District. The application and all documentation submitted by the Applicant in support of it are hereby incorporated by reference.

SECTION 2. CONSISTENCY WITH CITY OF PORT ST. JOE COMPREHENSIVE PLAN

The City Commission hereby finds and determines that the approval of the zoning to Public Use for the Parcel is consistent with the goals, objectives and policies of the City of Port St. Joe Comprehensive Plan as amended.

SECTION 3. ENFORCEMENT

The City may enforce this Ordinance as authorized by law.

SECTION 4. ZONING

The Official Zoning map of the City of Port St. Joe is hereby amended to show the property described in Exhibit "A" and depicted on Exhibit "B" as Public Use.

SECTION 6. REPEAL

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 7. SEVERABILITY

The provisions of this Ordinance are hereby declared to be severable. If any provision of this Ordinance, or the application thereof, to any person or circumstance is held to be invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid provision or application.

SECTION 8. EFFECTIVE DATE

This ordinance shall become effective upon adoption as provided by law.

This Ordinance was adopted in open regular meeting after its second reading this _____ day of _____, 2025.

THE CITY COMMISSION OF THE CITY
OF PORT ST. JOE, FLORIDA

By: _____
Rex Buzzett, Mayor-Commissioner

Attest: _____
Charlotte M. Pierce
City Clerk

EXHIBIT "A"

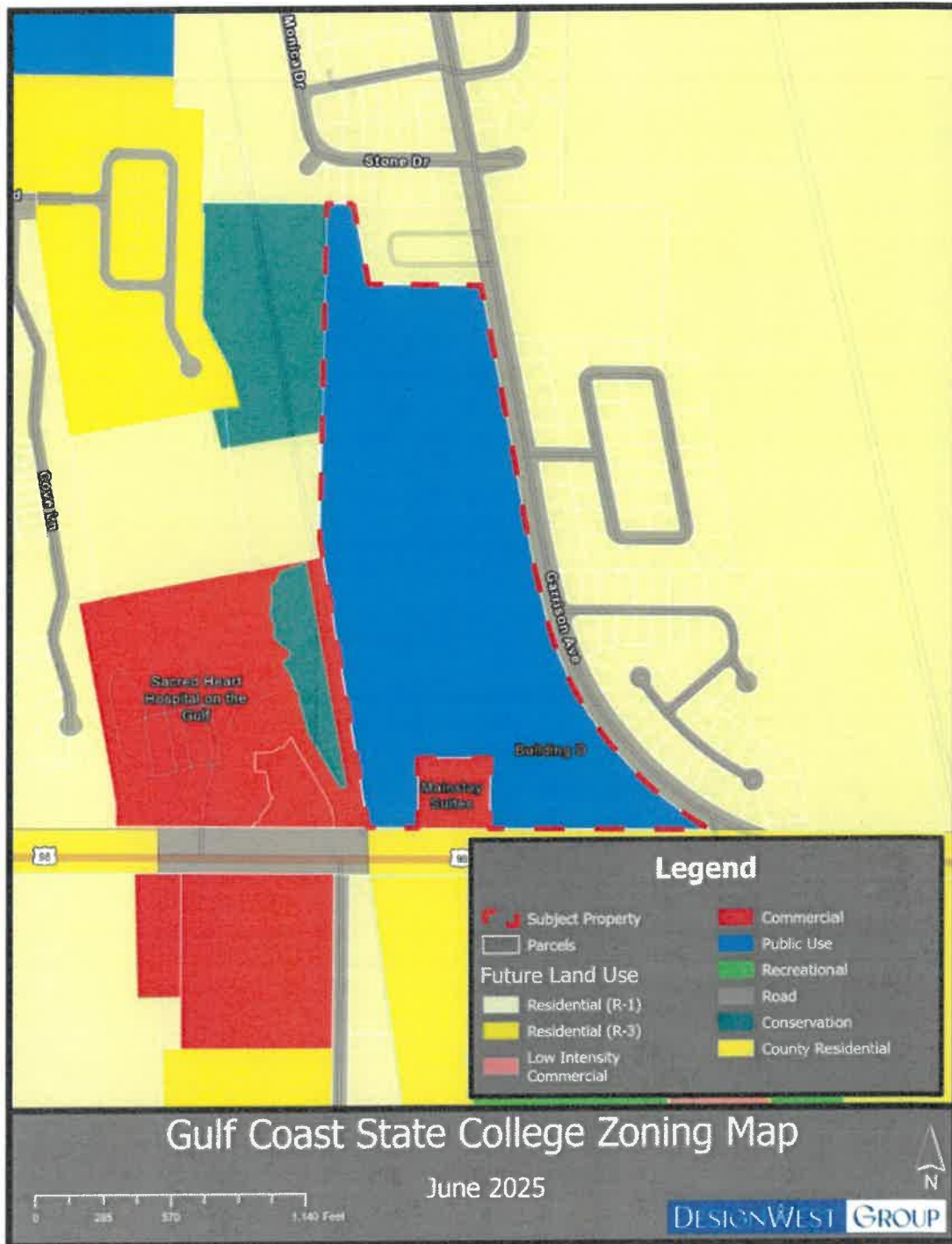
LEGAL DESCRIPTION (PARCEL ID NUMBER 03040-150R):

A lot or parcel of land being located in the City of Port St. Joe, Gulf County, Florida, and being more particularly described as follows:

BEGINNING at the Northeast corner of the H.O.A. Common Area of the Retreat at Palmetto Bluff Subdivision as found recorded in the Office of the Clerk of Court of Gulf County, Florida, in Plat Book 8, Page 70, as marked by a 6"x6" Concrete Monument being on the North line of the Northwest 1/4 of the Southwest 1/4 of Section 18, Township 8 South, Range 10 West, and also being on the South line of Lot 8, Block Eight, of Ward Ridge Unit 2 Subdivision as found recorded in said Office in Plat Book 4, Page 4; thence along said North line bearing S 87°43'02" E a distance of 58.34 FT to the Southwest corner of Lot 7 of said Block Eight as marked by an Illegible Capped Pin; thence along said North line bearing N 89°30'44" E a distance of 55.83 FT to a 4"x4" Concrete Monument stamped B&H PRM LB 2372 being on the South line of said Lot 7; thence depart said North line bearing S 10°49'02" E a distance of 350.09 FT to an Illegible 4"x4" Concrete Monument; thence S 88°58'38" E a distance of 475.04 FT to the West right of way (R/W) of Garrison Avenue (100' R/W) as marked by an Illegible 4"x4" Concrete Monument; thence along said West R/W bearing S 10°47'43" E a distance of 1340.38 FT to a 6"x6" Concrete Monument; thence along said West R/W along a curve to the left having a delta angle of 06°19'45" with a radius of 1482.69 FT an arc length of 163.79 FT with a chord bearing of S 13°58'30" E a chord distance of 163.70 FT to a Capped Pin stamped PCP LB8011; thence along said West R/W along a curve to the left having a delta angle of 43°31'08" with a radius of 1482.69 FT an arc length of 1126.18 FT with a chord bearing of S 38°56'55" E a chord distance of 1099.30 FT to the intersection of said West R/W with the North R/W of Florida State Road 30A (200' R/W) as marked by a Capped Pin stamped PCP LB8011; thence along said North R/W bearing N 89°23'38" W a distance of 460.05 FT to a 6"x6" Concrete Monument stamped SRD ROW; thence along said North R/W bearing N 89°24'14" W a distance of 500.00 FT to a Capped Pin stamped PCP LB8011; thence depart said North R/W bearing N 01°16'35" E a distance of 299.81 FT to an Illegible 4"x4" Concrete Monument; thence N 89°22'42" W a distance of 299.99 FT to an Illegible 4"x4" Concrete Monument; thence S 01°12'44" W a distance of 300.10 FT to said North R/W as marked by an Illegible 4"x4" Concrete Monument; thence along said North R/W bearing N 89°22'07" W a distance of 342.36 FT to a Capped Pin stamped PRI LB 7137; thence depart said North R/W along a curve to the left having a delta angle of 29°55'49" with a radius of 270.00 FT an arc length of 141.04 FT with a chord bearing of N 15°48'20" W a chord distance of 139.45 FT to a Capped Pin stamped PRI LB 7137; thence N 30°45'44" W a distance of 95.02 FT to a Capped Pin stamped LB7858; thence N 01°13'00" E a distance of 941.82 FT to the Southeast corner of said H.O.A. Common Area as marked by a Capped Pin stamped PRI LB 7137; thence along the East line of said H.O.A. Common Area bearing N 01°13'08" E a distance of 1510.78 FT to the POINT OF BEGINNING. Said parcel being located in the City of Port St. Joe, Gulf County, Florida, in the SW 1/4 of Section 18, T8S, R10W and **containing 50.81 acres, more or less.**

EXHIBIT "B"

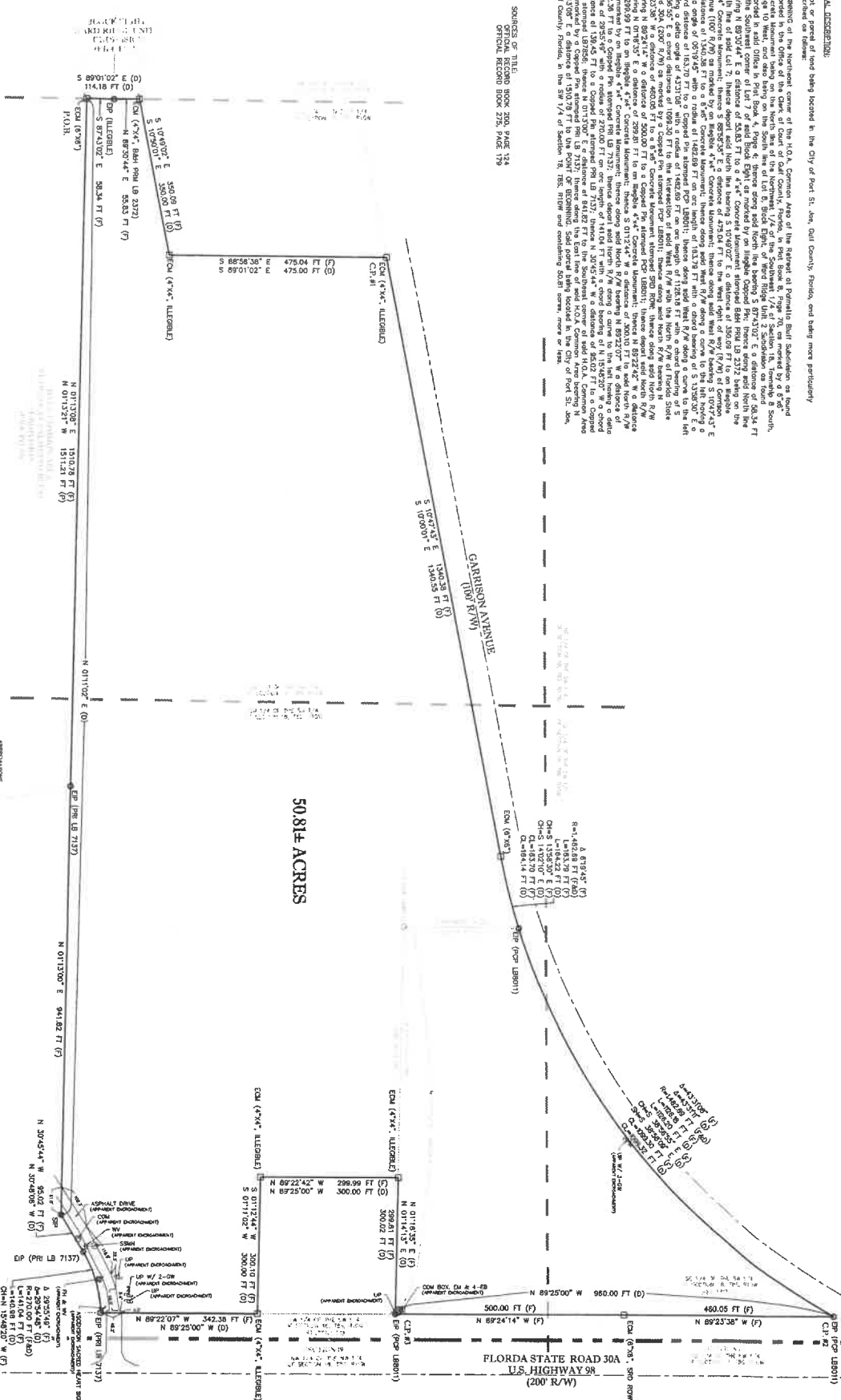
Zoning Map:



LEGAL DESCRIPTION:
A lot or parcel of land being located in the City of Port St. Joe, Gulf County, Florida, and being more particularly described as follows:

[illegible]

SOURCES OF TITLE:
OFFICIAL RECORD BOOK 200, PAGE 12
OFFICIAL RECORD BOOK 275, PAGE 17



50.81± ACRES

[illegible][illegible]

3000 ② EAST RICH PM
 3100 ③ LANTANA CORP. WINDY
 3200 ④ WY. WATER VALVE
 3300 ⑤ FIRE HYDRANT
 3400 ⑥ SANITARY SEWER MANHOLE
 3500 ⑦ COMMUNICATIONS POST/STU.
 3600 ⑧ ELECTRICAL METER
 3700 ⑨ GUY WIRE
 3800 ⑩ UTILITY POLE
 3900 ⑪ PROPERTY E.
 4000 ⑫ CONTAINING
 4100 ⑬ FORTY LINE
 4200 ⑭ SECTION LINE

- 1-a-AC LENGTH
- 1-b-ACROSSED STRIKES
- 2-a-PLAT BOOK
- 2-b-PLAT
- 3-a-PORT OF ORIGIN
- 3-b-PORT OF COMMERCE
- 4-a-REPLACES REFERENCE NUMBER
- 4-b-REPLACES REFERENCE NUMBER
- 5-a-REASON FOR RAY
- 5-b-REASON FOR RAY
- 6-a-STATE ROAD
- 6-b-STATE ROAD
- 7-a-TOWNSHIP
- 7-b-TOWNSHIP
- 8-a-UNIQUE FIRM
- 8-b-UNIQUE FIRM
- 9-a-SCORING, WEIGHTS
- 9-b-SCORING, WEIGHTS
- 10-a-FILE INFORMATION
- 10-b-FILE INFORMATION
- 11-a-PLAT INFORMATION
- 11-b-PLAT INFORMATION
- 12-DELTA MODEL

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ROADWAY
SECTION 30
171864.00

BASED ON THE FLORIDA STATE PLANT
TABLE
NORTH ZONE (MAD 03/2011)

100 200 300

SCALE: 1"=100'

SHEET 1
OF 1

NORTHSTAR
ENGINEERING SERVICES

2431 Hardford Hwy
Dothan, AL 36305
P: 334-673-9895

1021 Grace Ave
Panama City, FL 32401
P: 850-258-0143

info@northstar-engineering.com

A BOUNDARY SURVEY OF
GULF COAST COMMUNITY COLLEGE
CITY OF PORT ST. JOE
GULF COUNTY, FLORIDA

REVISIONS:
SURVEY DATE:
04/24/2025
FD: JLI, PG: 6

DRAWN BY:
C. TRO
APPROVED BY:
S. STROCKLAND

PROJECT No.
FL 1002-25

SHEET	1
OF	1

**CITY OF PORT ST. JOE FUTURE LAND USE MAP
AMENDMENT APPLICATION**

Property Address: 3800 Garrison Ave, Port St Joe, FL

Current Land Use: C-1, R-1

Property Owner: Gulf Coast State College

Proposed Land Use: Public Use

Mailing Address: 5230 West Hwy 98, Panama City, FL 32401

Phone: (850) 812-3807

Applicant if Different: Northstar Engineering Services

Parcel Number: 03040-150R

John D. Murren, VP, Admin & Finance
Owners Signature for Gulf Coast State College

Sworn to and subscribed before me this 2nd day of June, 2025. Personally Known

OR Produced Identification.

Type Provided



Theresa Anderson
Signature of Notary

PUBLIC NOTICE

1. A sign will be posted for two weeks on the property seeking the change and a notice will be published in the local newspaper.

APPLICATION REQUIREMENTS

Application Fee: Small Scale Amendment - \$500.00 – Large Scale Amendment \$2,000.00

Legal Description of Property

Copy of Deed

Copy of Survey

John D. Murren
Owner Signature

Date: 06/01/2025

Alex Schrauth
Applicant Signature

Date: 06/02/2025

Derrick Bennett
 Attorney at Law
 Bennett, Campbell, and Bennett, P.A.
 112 East Third Court
 Panama City, FL 32401
 850-763-4671
 File Number: **GCCC-GulfCty**
 Parcel Identification No. **03040-000R**

Inst:0020020797 Date:02/20/2002 Time:11:07:19

Doc Stamp-Degd : 3430.00

Doc Stamp-DC, Doug C Birmingham, GULF County B:275 P:179

000179

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 15th day of February, 2002 between **Patricia T. Warriner**, a married woman, dealing in her non-homestead property whose post office address is P.O. Box 280, Port St. Joe, Florida 32457-0280, of the County of Gulf, State of Florida, grantor*, and **The District Board of Trustees of Gulf Coast Community College** whose post office address is 5230 West Highway 98, Panama City, FL 32401 of the County of Bay, State of Florida, grantee*,

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Gulf County, Florida**, to-wit:

Commence at the Northwest corner of Section 18, Township 8 South, Range 10 West, Gulf County, Florida. Thence South 01°13'42" West along the West line of said Section 18 for 2611.67 feet to the West Quarter corner of said Section 18 and the municipal limits line of Port St. Joe, Florida, thence South 89°01'02" East along said municipal limits line and the North line of the South half of said Section 18 for 659.94 feet to the Point of Beginning. Thence continue South 89°01'02" East for 114.18 feet to the Northwest Corner of the parcel described in Gulf County Official Records Book 116, page 387, thence South 10°50'01" East Parallel with the Westerly right of way line of Garrison Avenue for 350.00 feet to the Southwest corner of said parcel, thence South 89°01'02" East parallel with said north line of the South half of Section 18 for 475.00 feet to said Westerly right of way line of Garrison Avenue and the Southeast corner of said parcel, thence South 10°01'01" East along said Westerly right of way line for 1340.55 feet to the beginning of a curve in said right of way line which is concave to the Northeast and having a radius of 1482.69 feet, thence Southeasterly along said curving right of way line for an arc distance of 164.22 feet, the chord of said arc bearing South 14°02'10" East for 164.14 feet to the North line of the parcel described in Gulf County Official Records Book 193, page 123, thence North 88°49'58" West along said North line for 251.07 feet to the Northwest corner of said parcel, thence South 01°11'02" West line of said parcel for 550.30 feet, thence North 89°25'00" West parallel with the North right of way line of State Road No. 30-A, U.S. Highway 98, for 300.00 feet, thence South 01°11'02" West for 300.00 feet to said North right of way line, thence North 89°25'00" West along said North right of way line for 433.21 feet to said municipal limits line, thence North 01°11'02" East along said municipal limits line for 2667.80 feet to the Point of Beginning.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

Subject to any other easements, reservations, and rights of way of record, mineral interests of record, and taxes for the current year.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

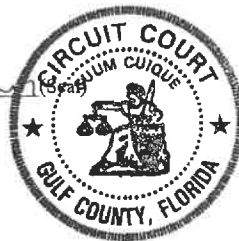
In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


 Witness Name: Leslie A. Johnson


 Patricia T. Warriner


 Witness Name: Derrick Bennett



State of Florida
 County of Bay

The foregoing instrument was acknowledged before me this 15th day of February, 2002 by Patricia T. Warriner, who ☐ is personally known or ☒ has produced a driver's license as identification.

[Notary Seal]

LESLIE A. JOHNSON
 Notary Public State of Florida
 Commission No. CC748151
 My Commission Exp. June 3, 2002

Notary Public

Printed Name: _____

My Commission Expires: _____

000179

FILED AND RECORDED

DATE 04/15/97 TIME 09:47 AGREEMENT AND MORTGAGE

124

WHEREAS, Gulf Coast Community College (hereinafter called "Mortgagor") has applied to, received and accepted from the United States Department of Commerce, Economic Development Administration (EDA) a grant in the amount of Four Hundred Fifty Thousand Six Hundred Seventy Five Dollars (\$450,675 Grant Amount) pursuant to a Financial Assistance Award dated September 13, 1995, and bearing EDA Project Number 04-19-69058 (the Project); and

WHEREAS, pursuant to the application filed by Mortgagor requesting said grant and pursuant to the Financial Assistance Award, the Grant Amount is to be used for the purpose of making improvements consisting of construction of a building(s) for use as a training center on the real property described in Exhibit "A", attached hereto and made a part hereof (the Property); and

WHEREAS, any transfer or conveyance of a project by an EDA Recipient must have the prior written approval of EDA. However, EDA, under authority of the Public Works and Economic Development Act of 1965, as amended, 42 U.S.C. Section 3121, is not authorized to permit transfer or conveyance of a project to parties which are not eligible to receive EDA grants unless EDA is repaid its share of the fair market value of the project or unless the authorized purpose of the EDA grant is to develop land in order to lease it for a specific use, in which case EDA may authorize a lease of the project if certain conditions are met; and

WHEREAS, the aforesaid grant from EDA provides that the authorized purpose for which the Grant Amount may be used is to develop and improve the Property in order to lease it for a specific use while further providing, inter alia, that Mortgagor will not sell, mortgage, or otherwise use or alienate any right to, or interest in the Property, (other than by a lease which has been previously approved by EDA), or use the Property for purposes other than and different from those purposes set forth in the Financial Assistance Award and the application made by Mortgagor therefor, such alienation or use being prohibited by 13 CFR Part 314, 15 CFR Part 24 or by Office of Management and Budget Circular A-110, Attachment N, (the OMB Circular); and

WHEREAS, at this time, Mortgagor and EDA desire to establish a value for EDA's share of the Project in the event that the Property is used, transferred or alienated in violation of the Financial Assistance Award, applicable OMB Circular, 13 CFR Part 314 or 15 CFR Part 24;

NOW THEREFORE, Mortgagor does hereby grant and convey unto EDA, its successors and assigns, a mortgage on said Property to secure a debt that shall become due and payable by Mortgagor to EDA upon the use, transfer or alienation of the Property in violation of the Financial Assistance Award or in violation of the regulations set forth in 13 CFR Part 314, 15 CFR Part 24 or the applicable OMB Circular, as such Financial Assistance Award, regulations or Circular may be amended from time to time; provided, however, that the lien and encumbrance of this AGREEMENT AND MORTGAGE shall terminate and be of no further force and effect 20 years from the date hereof, which period of years has been established as the useful life of the improvements to the Property. The amount of the lien, encumbrance and debt created by this Agreement shall be the Grant Amount or the amount actually disbursed or an amount determined pursuant to 13 CFR Part 314. Mortgagor does hereby acknowledge that said debt shall accrue and be due and payable upon any use, transfer, or alienation prohibited by the Financial Assistance Award, applicable OMB Circular, 13 CFR Part 314 or 15 CFR Part 24, and does, moreover, agree that such debt shall be extinguished only through the full payment thereof to the United States.

THIS INSTRUMENT PREPARED BY:

JERRY C. FOSTER, REGIONAL COUNSEL, EDA

401 W. PEACHTREE STREET, N. W., SUITE 1820

CLERK ATLANTA, GEORGIA 30308-3510

JENNY LISTER
CO:GULF

ST:FL

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ATRO Form 200

RECORD VERIFIED
Bundy Daniels DC

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Mortgagor further covenants and agrees as follows:

1. Lease of Property:

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If the Grant Application and Financial Assistance Award authorizes Mortgagor to lease the Property, each lease arrangement shall be subject to the prior written approval of EDA. Prior to EDA granting said approval, it must be satisfied inter alia, that said lease arrangement is consistent with the authorized general and special purpose of the grant; that said lease arrangement will provide adequate employment and economic benefits for the area in which the Property is located; that said lease arrangement is consistent with EDA policies concerning, but not limited to, non-discrimination, nonrelocation and excessive profits and that the proposed Lessee is providing adequate compensation to Mortgagor for said lease. Any Lease Agreement entered into by Mortgagor of the Property shall be subordinate, junior and inferior to this AGREEMENT AND MORTGAGE.

2. Charges; Liens:

Mortgagor shall protect the title and possession of the Property, pay when due all taxes, assessments, and other charges, fines and impositions now existing or hereafter levied or assessed upon the Property and preserve and maintain the priority of the lien hereby created on the Property including any improvements hereafter made a part of the realty.

3. Hazard Insurance:

Mortgagor shall insure and keep insured all improvements now or hereafter created upon the Property against loss or damage by fire and windstorm and any other hazard or hazards included within the term "extended coverage". The amount of insurance shall be the full insurable value of said improvements. Any insurance proceeds received by Mortgagor due to loss shall be applied to restoration or repair of the Property damaged, provided such restoration or repair is economically feasible and the security of this Mortgage is not thereby impaired. If such restoration or repair is not economically feasible or if the security of this Mortgage would be impaired, Mortgagor shall use said insurance proceeds to compensate EDA for its fair share. EDA's fair share shall be a percentage of said insurance proceeds equal to its grant percentage in the total cost of the grant program for which the damaged or destroyed real property was acquired or improved.

4. Preservation and Maintenance of the Property:

Mortgagor shall keep the Property in good condition and repair and shall not permit or commit any waste, impairment, or deterioration of the Property.

5. Inspection:

EDA may make or cause to be made reasonable entries upon and inspection of the Property.

6. Condemnation:

The proceeds of any award or claim for damages, direct or consequential, in connection with any condemnation or other taking of the Property, or part thereof, or for any conveyance in lieu of condemnation shall be used by Mortgagor to compensate EDA for its fair share. EDA's fair share shall be a percentage of said condemnation proceeds equal to its grant percentage in the total cost of the grant program for which the condemned property was acquired or improved.

7. Forbearance by EDA Not a Waiver: FL 971391 B 200 P 126
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Any forbearance by EDA in exercising any right or remedy hereunder, or otherwise affordable by applicable law, shall not be a waiver of or preclude the exercise of any right or remedy hereunder.

8. Recording of Mortgage - Mortgagor's Copy:

Mortgagor shall record this AGREEMENT AND MORTGAGE in the County where the Property is located, thereby securing to EDA an estate in the Property. Mortgagor shall be furnished a conformed copy of this Mortgage at the time of execution or after recordation thereof.

9. Remedies Cumulative:

All remedies provided in this Mortgage are distinct and cumulative to any other right or remedy under this Mortgage or afforded by law or equity, and may be exercised concurrently, independently or successively.

10. Notice:

Any Notice from EDA to Mortgagor provided for in this Mortgage shall be mailed by certified mail to Mortgagor's last known address or at such address as Mortgagor may designate to EDA by certified mail to EDA's address, except for any Notice given to Mortgagor in the manner as may be prescribed by applicable law as provided hereafter in this Mortgage.

11. Remedies:

Upon Mortgagor's breach of any covenant or agreement of Mortgagor in this AGREEMENT AND MORTGAGE, EDA, its designees, successors or assigns may declare the entire indebtedness secured hereby immediately due, payable and collectible. This AGREEMENT AND MORTGAGE may be enforced by the Secretary of Commerce of the United States of America, the Assistant Secretary of Commerce for Economic Development or their designees, successors or assigns, by and through a foreclosure action brought either in a United States District Court, or in any State Court having jurisdiction, but such action shall not be deemed to be a waiver of the aforesaid debt or of any possible further or additional action to recover repayment thereof.

After any breach on the part of Mortgagor, EDA, its designees, successors or assigns shall, upon bill filed or the proper legal proceedings being commenced for the foreclosure of this Mortgage, be entitled, as a matter of right, to the appointment by any competent court, without notice to any party, of a receiver of the rents, issues and profits of the Property, with power to lease and control the Property, and with such other powers as may be deemed necessary.

12. Governing Law; Severability:

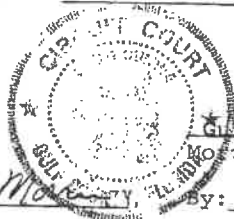
This AGREEMENT AND MORTGAGE shall be governed by applicable Federal law and nothing contained herein shall be construed to limit the rights the EDA, its designees, successors or assigns is entitled to under applicable Federal law. In the event that any provision or clause of this instrument conflicts with applicable law, such conflict shall not affect other provisions of this instrument which can be given effect without the conflicting provision, and to this end the provisions of this instrument are declared to be severable.

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IN WITNESS WHEREOF, Mortgagor has hereunto set its hand and seal on
this the 8th day of April, 1997.

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ATTEST:

By:

John W. Morris
John W. Morris
Title: Vice President of Business
and Finance
Gulf Coast Community College

Gulf Coast Community College
Mortgagor

By:

Dr. Robert L. McSpadden
Dr. Robert L. McSpadden
Its: President, Gulf Coast Community College
Secretary, District Board of Trustees
Gulf Coast Community College

STATE OF FLORIDA

COUNTY OF Bay

I hereby certify that on this day before me Dorrie E. Bennett, a
Notary Public authorized in the State and County aforesaid to take
acknowledgments, personally appeared Dr. Robert L. McSpadden, to me
known to be the person described in and who executed the foregoing
instrument as President of GCCC, and
acknowledged before me that he executed the same as such officer in
the name of and on behalf of said Gulf Coast Community College.

Witness my hand and official seal in the County and State last
aforesaid this 8th day of April, 1997.

Dorrie E. Bennett

Notary Public

My Commission Expires



DORRIE E. BENNETT
MY COMMISSION # CC384528 EXPIRES
July 23, 1998
BONDED THRU TROY FAN INSURANCE, INC.

Approved:

David C. Gaskin
Attorney for Mortgagor

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EXHIBIT "A"

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DESCRIPTION: GULF COAST COMMUNITY COLLEGE, GULF COUNTY

A PORTION OF SECTION 18, TOWNSHIP 8 SOUTH, RANGE 10 WEST, GULF COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 18; THENCE ALONG THE WEST LINE OF SAID SECTION 18, SOUTH 01 DEGREES 13 MINUTES 42 SECONDS WEST, 2611.67 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 18 AND THE MUNICIPAL LIMITS LINE OF PORT ST. JOE, FLORIDA; THENCE ALONG SAID MUNICIPAL LIMITS LINE, SOUTH 89 DEGREES 00 MINUTES 24 SECONDS EAST, 659.94 FEET; THENCE ALONG SAID MUNICIPAL LIMITS LINE, SOUTH 01 DEGREES 11 MINUTES 02 SECONDS WEST, 2667.67 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF U.S. HIGHWAY 98; THENCE ALONG SAID NORTH RIGHT OF WAY LINE, SOUTH 89 DEGREES 25 MINUTES 00 SECONDS EAST, 733.31 FEET TO THE POINT OF BEGINNING; THENCE NORTH 01 DEGREES 11 MINUTES 02 SECONDS EAST, 850.30 FEET; THENCE SOUTH 88 DEGREES 48 MINUTES 58 SECONDS EAST, 251.07 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF GARRISON AVENUE, SAID POINT BEING ON THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE SOUTHEASTERLY ALONG SAID RIGHT OF WAY LINE, ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 1482.69 FEET, A CENTRAL ANGLE OF 43 DEGREES 31 MINUTES 11 SECONDS, FOR AN ARC LENGTH OF 1126.20 FEET (CHORD TO SAID CURVE BEARS SOUTH 38 DEGREES 58 MINUTES 09 SECONDS EAST, 1099.32 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF U.S. HIGHWAY 98; THENCE ALONG SAID NORTH RIGHT OF WAY LINE, NORTH 89 DEGREES 25 MINUTES 00 SECONDS WEST, 960.00 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 10.00 ACRES, MORE OR LESS.

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