

**City of Port St. Joe
Planning, Development, and Review Board Regular Meeting
May 5, 2026 4:00 P.M.**

**Jay Rish
Minnie Likely
Rawlis Leslie
Phil Earley**

**Hal Keels
Travis Burge
Chris Karagiannis**

PLEDGE OF ALLEGIANCE AND MOMENT OF SILENCE

ROLL CALL OF THE BOARD

CONSENT AGENDA:

April 7, 2026 Regular Meeting Minutes

Page 1-2

BUSINESS ITEMS

- Special Exception Request to Build a Pier at 282 Dockside Drive,
St. Joe Marina Cottages- Parcel #04594-030R** **Pages 3-55**

***You are hereby notified that in accordance with Florida Statutes, you have the right to appeal any decision made by the Board with respect to any matter considered at the above referenced meeting. You may need to ensure that a verbatim record of the proceedings is made which may need to include evidence and testimony upon which the appeal is based.**

City of Port St. Joe
Regular Meeting
Planning, Development, and Review Board
April 7, 2026
Minutes

Pledge of Allegiance and Moment of Silence

Roll Call of the Board

Present		Absent	
Board	Staff	Board	Staff
Jay Rish Phil Earley Chris Karagiannis Hal Keels Rawlis Leslie Minnie Likely	Jim Anderson Charlotte Pierce Mike Lacour April Thompson Clinton McCahill	Travis Burge	

After ascertaining that a quorum was present, Chairman Rish called the meeting to order at 4:00 P.M. Travis Burge notified City Staff he would be unable to attend the meeting.

Consent Agenda

February 3, 2026, Regular Meeting Minutes

A Motion was made by Chris Karagiannis, second by Phil Earley, to approve the Minutes of the February 3, 2026, Regular Meeting. All in favor; Motion carried 6-0.

Business Items

Bayside at Port St. Joe – Plat Approval Request; Parcel #04561-200R and a portion of Parcel #04561-500R Recommendation to the City Commission

Lance Watson, SCE, represented Bayside and requested the Plat Approval for Bayside at Port St. Joe.

A Motion was made by Phil Earley, second by Rawlis Leslie, to recommend approval of the plat to the City Commission. All in favor; Motion carried 6-0.

Chairman Rish is to attend the April 21, 2026, City Commission Meeting should there be any questions about the recommendation.

Citizens to be Heard

No one wished to address the Planning, Development, and Review Board.

Discussion by Board Members

None of the Board Members had any additional information to discuss today.

Motion to Adjourn

There was no further business to come before the PDRB. A Motion was made by Rawlis Leslie, second by Chris Karagiannis, to adjourn the meeting at 4:07 P.M.

Charlotte M. Pierce, City Clerk

Date

Jay Rish, Chairman

Date

PUBLIC NOTICE

The City of Port St. Joe's Planning, Development, and Review Board (PDRB) will hold a Meeting to discuss a request for a **Special Exception to Build a Pier on May 5th, at 4:00 P.M. EST.** and The City Commissioner's meeting will review the request on **May 19th, at noon.** The Public Hearing will be held in the Commission Chamber in the Ward Ridge Building at 2775 Garrison Avenue, Port St. Joe, Florida 32456 for **282 Dockside Drive, Port St Joe, FL 32456.** The reason for the request is per Section 4.08 of the Land Development Regulations referencing a 50' Shoreline Protection Zone. The proposed plans can be reviewed at the Building Department located at 1002 10th St. and can be reached for questions at 850-229-1093.

All persons are invited to attend this meeting. Interested persons may attend and be heard at the public hearings or provide comments in writing to the Planning, Development, and Review Board, City of Port St. Joe City Hall, 305 Cecil G. Costin, Sr., Blvd., Port St. Joe, Florida 32456. Transactions of the public hearings will not be recorded. Persons wishing to appeal any decision made during the hearings will need a record of the proceeding and should ensure a verbatim record is made, including the testimony on which the appeal is based.

In accordance with the Americans with Disabilities Act, persons wishing to attend needing assistance and special accommodations to participate in these proceedings should contact Charlotte Pierce, City Clerk, at City Hall, (850) 229-8261.

Publish one time in the STAR: 4/16/26 and furnish proof of publication

Sec. 4.08. St. Joseph Bay shoreline protection zone

- (a) There is hereby created the "St. Joseph's Bay Shoreline Protection Zone" in which special restrictions on development apply.
- (b) This protection zone extends from the St. Joseph's Bay mean high water (MHW) line to a point 50 feet landward.
- (c) As expressly provided herein, no development activity shall be undertaken in the shoreline protection zone with the exception of water dependent activities; provided that the public benefit of the activity substantially outweighs the adverse environmental affect, and there is not a practical alternative to placement in the shoreline protection zone, or the development is pursuant to a development permit allowing development activity seaward of the shoreline protection zone.
- (d) The acreage within the shoreline protection zone may be used to determine total allowable units, or square footage of development, that will be allowed onsite containing part of such a zone. In such situations the clustering of development may occur in nonsensitive areas such as the upland portion of the site.

Sec. 4.09 Vegetation and Wildlife and their Habitat -- Purpose

The purpose of this section is to provide standards necessary to protect the habitats of species, both flora and fauna, of endangered, threatened, or special concern status in the city. It is the intent of this section to identify the presence of listed species and their habitat in order to avoid, minimize and/or mitigate impacts on such resources.

Sec. 4.10. Same – General provisions

- (a) Proposed development sites within the city will be required to be examined for the presence of state and federally protected plant and animal species prior to site clearing, disturbance or construction. When a listed species or their habitat is found, the proposal for development shall be submitted to the Florida Fish and Wildlife Conservation Commission (FFWCC) and DEP for recommendations to avoid, minimize and/or mitigate the impact of development on those species. These recommendations will be considered part of the development approval process where threatened and endangered species are present.
- (b) The generalized information reflected in the adopted map series of the comprehensive plan (such as Maps 5, 6, 7, 8 showing natural resource) and other available surveys shall be utilized to make an assessment of the presence of ecologically sensitive terrestrial, wetland and marine ecological communities, as well as wildlife habitat.
- (c) A professionally conducted survey to determine the extent of native vegetative communities shall be required for all proposed development sites of five (5) acres or more where native habitat exists on the site. This survey shall be conducted by an ecologist, biologist, or similar professional and shall include an inventory of wildlife, as well as state and federally listed endangered and threatened animal and plant species, and species of special concern. Site surveys shall address the following:

- (1) The size and distribution of native habitat;

St. Joe Marina Cottages LLC

Re: Special Exception Request Application for St. Joe Marina Cottages Pier

Section 4.01

April 10, 2026

The activities authorized by FDEP are to be located at 282 Dockside Drive and 340 Marina Drive Port St. Joe, FL 32456. Parcel Numbers 04594-030R and 04594-012R. Section 2 Township 8 South, Range 11 West, in Gulf County.

We are hoping to construct a private pier totaling 1,677.96 sq ft of overwater surface area within St. Joseph Bay, a Class II Florida Waterbody and prohibited shellfish harvesting area.

The pier will be installed/built to engineered plans with all stainless-steel hardware and fasteners to be used. Pile wraps and black cone piling caps will be included.

Thank you for considering our special Exception Request. If there are any questions, please contact Matt or Kramer at 850-866-6522



Kramer Clark

4-10-2026

Date

CITY OF PORT ST. JOE
SPECIAL EXCEPTION REQUEST APPLICATION

Property Address: 11111 1st St Zoning: RS-10

Property Owner: John Smith Phone: 904-555-1234

Mailing Address: 11111 1st St City, State, and Zip: Port St Joe, FL 32078

Parcel Number: 11111 Applicant if different: John Smith

[Signature]
Owner signature

Swore to and subscribed before me this 2nd day of April 2026. Personally known or
produced identification _____

[Signature]
Signature of Notary Public



PUBLIC NOTICE

A SIGN WILL BE POSTED FOR FIFTEEN DAYS ON THE PROPERTY SEEKING THE SPECIAL EXCEPTION AND A NOTICE WILL BE PUBLISHED IN THE LOCAL NEWSPAPER.

APPLICATION REQUIREMENTS:

- Application Fee \$300
- A letter indicating the section of the LDR under which special exception is being requested
- Legal Description of Property
- Copy of the Deed
- Copy of the Survey
- Site plan of the proposed improvements

[Signature]
Owner Signature

4-2-2026
Date

[Signature]
Applicant Signature

11-1-2026
Date

**CITY OF PORT ST. JOE PLANNING DEPARTMENT
DEVELOPMENT ORDER APPLICATION PACKET**

INCOMPLETE SUBMITTALS WILL NOT BE REVIEWED

(The Building Department requires separate forms and fees to obtain building permits.)

NOTE: THE ADDRESS OF THE PROPERTY MUST BE POSTED PRIOR TO SUBMITTAL.

1. _____ Two complete sets of plans, drawn to scale.
Including: A site plan with square feet of living, total square feet, impervious surface,
and setbacks.
** Setbacks are measured from the closest overhang to property line**

A site plan showing any protected trees which will be removed from the property.
(Protected trees are any trees other than pine larger than 8" in diameter measure
54" from the base of the tree.)

2. _____ Development Order Packet
3. _____ New Address application
4. _____ Complete City water meter impact form
5. _____ Complete Driveway permit application

(Please refer to City of Port St. Joe's Land Development Regulations)

DESCRIPTION

Project Address 282 Dockside Dr. Port St. Joe

Lot Square Footage: _____ Dwelling Square Footage: _____

Driveway Square Footage: _____ Accessory Building Square Footage: 1677.96 sq ft
Dock for Marina

Pool Square Footage: _____ Patio/Deck Square Footage: _____

Setbacks: Front: _____ Left Side: _____

Rear: _____ Right Side: _____

Floor Area Ratio: _____ Lot Coverage: _____

Building Height in Feet: _____ Impervious Surface: _____

Landscape Buffers: (height x width) _____ Elevation: _____

Kramer Clark
Applicant Name

6439 Hwy 77 Panama City
Applicant Address

850-401-9711
Phone Number

[Signature]
Applicant Signature

3-26-26
Date



GULF COUNTY E-911
Official House Number Form
 1000 Cecil G Costin Sr Blvd Bldg. 500
 Port St. Joe, FL 32456

Email: e911@gulfcounty-fl.gov

Voice: (850) 229-9111

http://www.gulfcounty-fl.gov/county_government/e911

Date: 07/24/2024

Fax: (850) 665-3427

REQUESTING A NEW ADDRESS AND VERIFICATION

1) Parcel Number: 04594-030R (ex. 99999-999R)

Street Name: Dockside Drive

Location: (Please circle one) Port St Joe Wewahitchka Gulf County (Unincorporated Area)

2) Has this parcel ever had a building with or without an address on it before today? Yes No

If yes, what is/was that address? _____

3) Type of Structure to be built or brought in: (check all boxes that apply)

- | | | |
|---|--------------------------------------|--|
| <input type="checkbox"/> Commercial-What Type? | <input type="checkbox"/> RV | <input type="checkbox"/> Utility |
| <input checked="" type="checkbox"/> Single Family | <input type="checkbox"/> Mobile Home | <input type="checkbox"/> Service Upgrade |

Other Please Explain: _____

4) Name of Property Owner: St. Joe Marina Cottages LLC

5) Telephone: () _____

6) Name of person requesting information if different than above: Taylor Hysmith

7) Telephone: (850) 639-3860 8) Email: info@southeasternce.com

9) Other Helpful Info: _____

After completing the above information please follow the steps below.

A) Take or fax this form to Gulf County E-911 at 850-229-9115 to receive your official address

B) Take completed form back to the Building Department to start the permitting process.

C) ***MOST IMPORTANTLY!** After receiving your address, PLEASE

display it on the construction site and/or house when completed where it will be easily seen from the road.

E-911 DEPARTMENT (located in the EOC)

This Box for Official Use Only

Structure Type Being Addressed: Single Family

Address: 282 Dockside Drive Map # _____

Port St Joe, Florida 32456

Approved By: Clay Kennedy Date: 07/24/2024

COMMENTS:

SITE PLAN:

Check box if site plan attached

Disclaimer- If Gulf County E-911 finds any information supplied to be incorrect or has changed, this address could become void and a new one will be issued so it meets the Enhanced 911 rules and regulations.

EPCI
PORT ST JOE BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

DATE: 3-26-2026 Permit # _____ Permit Fee _____

OWNER'S NAME: St. Joe Marina Cottages LLC

ADDRESS: 1161 Good Morning St Suite 201

CITY, STATE & ZIP CODE: Port St. Joe FL 32456 PHONE # 850-445-8488

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: MaKaica Construction Group

ADDRESS: 6439 Hwy 77

CITY, STATE & ZIP CODE: Panama City FL 32409 PHONE # 850-557-0132

STATE LICENSE NUMBER: CGC 1529170 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 282 Dockside Dr Port St. Joe

PROPOSED USE OF SITE: St. Joe Marina Cottages Pier

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 04594-030R

LEGAL DESCRIPTION OF PROPERTY: Sec 2 Twnshp 8 South Range 11 W

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: Southeastern Consulting Engineers

ADDRESS: P.O. Box 141 CITY, STATE & ZIP: Wewahatcha FL, 32463

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial
 Duplex Swimming Pool Storage Sign
 Multi-Family Demolition Other Pier
 Addition, Alteration or Renovation to building _____

Distance from property lines: Front _____ Rear _____ L. Side _____
R. Side _____
Cost of Construction \$ 83,350 Square Footage 1,077.94
EPI _____ Flood Zone _____ Lowest Floor Elevation _____
Area Heated/Cooled _____ # Of Stories _____ # Of Units _____
Type of Roof _____ Type of Walls _____ Type of Floor _____
Extreme Dimensions of: Length _____ Height _____ Width _____

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The Port St. Joe Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent

Date: _____

Notary as to Owner or Agent

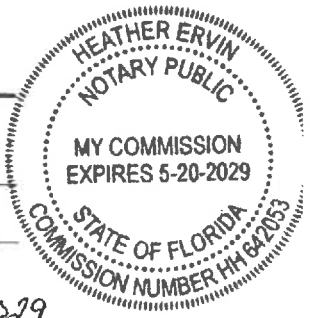
My Commission expires: _____

[Signature]
Signature of Contractor

Date: 3-26-2026

Heather Ervin
Notary as to Contractor

My Commission expires: 5-20-2029



APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

F.D.E.P. DREDGE AND FILL PERMIT DRAWINGS

SECTION	02	TOWNSHIP	8S	RANGE	11W
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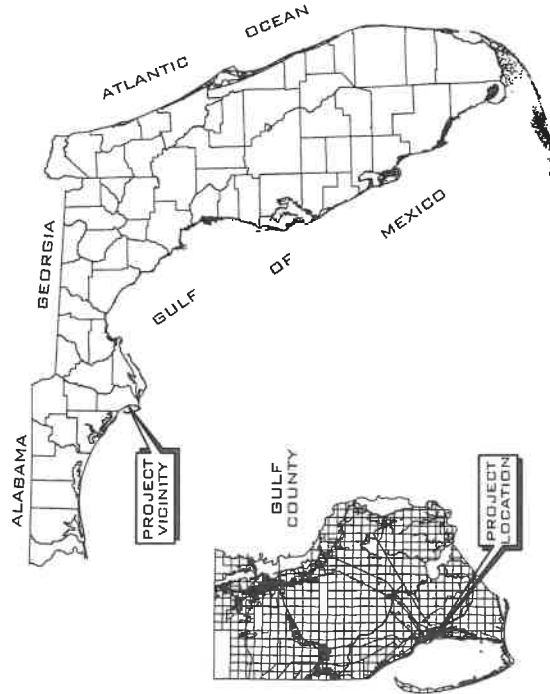
MARINA COTTAGES BOARDWALK

FOR

ST JOE MARINA COTTAGES, LLC
GULF COUNTY PARCEL ID: 04594-030R
PORT ST. JOE, GULF COUNTY, FL

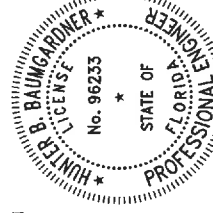
OCTOBER 06, 2025

PROJECT VICINITY



INDEX OF SHEETS

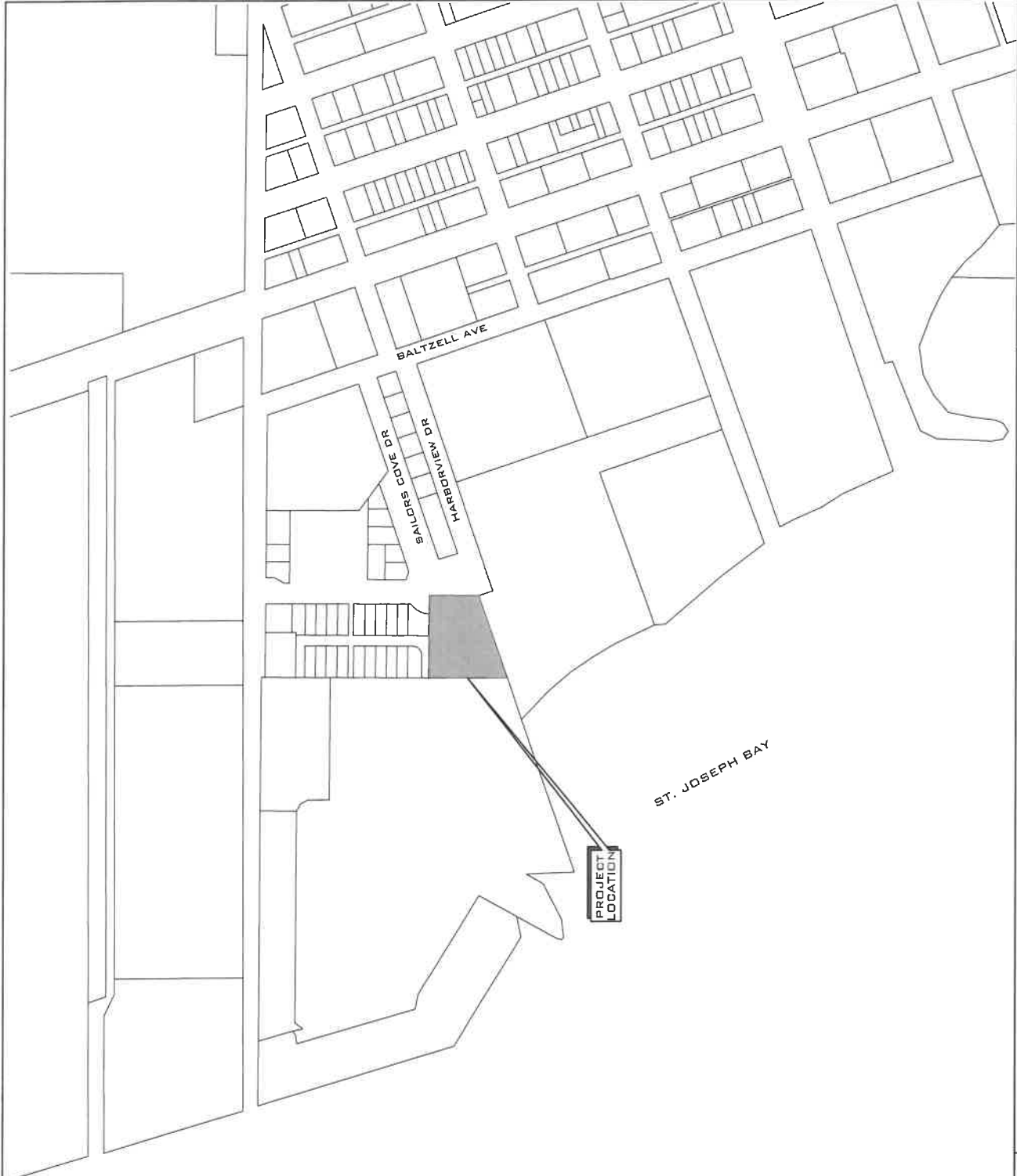
SHEET	SHEET NAME
CVR	COVER SHEET
G1	PROJECT LOCATION
G2	EROSION CONTROL DETAILS
G1	AERIAL OF EXISTING SITE CONDITIONS
G2	SITE PLAN
G3	DREDGE & FILL
G4	EROSION CONTROL PLAN
G5	PROPOSED WATERWAY NAVIGATION
G6	DOCK ALIGNMENT
G7	DOCK PROFILE
G8	PREEMPTION AREA
G1	BOARDWALK FRAMING PLAN
G2	PILE LAYOUT PLAN & FRAMING PLAN
G3	BOARDWALK FRAMING DETAILS
G4	TYP. TERMINAL PLATFORM SECTION



This item has been digitally signed and sealed by Hunter B Baumgardner, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
2025.11.20 08:14:08-06'00'

THE ABOVE NAMED ENGINEER SHALL BE RESPONSIBLE FOR THE SHEETS LISTED IN THE SHEET INDEX BELOW IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

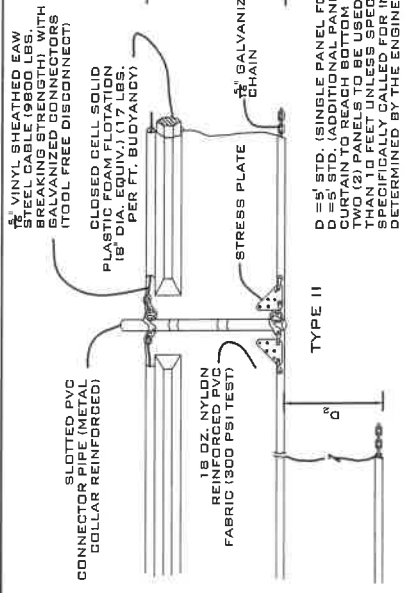
 SOUTHEASTERN CONSULTING ENGINEERS, INC. P.O. BOX 141 WEWAHITCHKA, FLORIDA 32465 850.639.3850	CLIENT	MARINA COTTAGES BOARDWALK
	SHEET TITLE	COVER SHEET
JOB NO.		23-881-01
SHEET NO.		CVR



12

JOB NO.	23-881-01
SHEET TITLE	PROJECT LOCATION
SHEET NO.	G 1
CLIENT	MARINA COTTAGES BOARDWALK

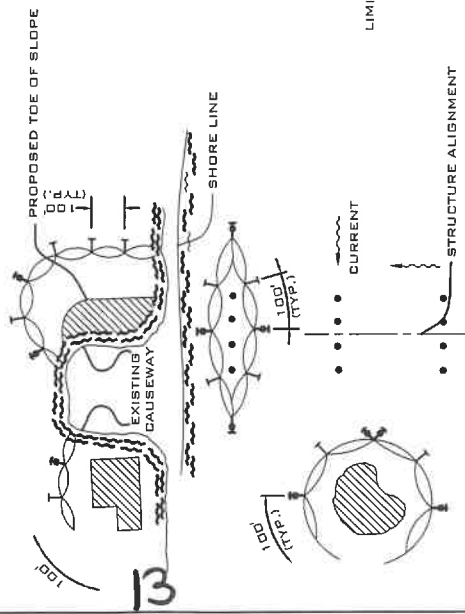
SCE
SOUTHEASTERN
 CONSULTING ENGINEERS, INC.
 1100 W. UNIVERSITY BLVD.
 WEWAHITCHKA, FLORIDA 32465
 850.639.3860



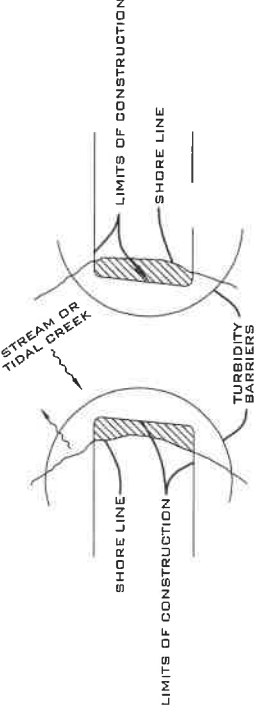
TYPE II
 D = 5' STD. (SINGLE PANEL FOR DEPTHS 5' OR LESS).
 D = 5' STD. (ADDITIONAL PANEL FOR DEPTHS > 5').
 CURTAIN TO REACH BOTTOM UP TO DEPTHS OF 10 FEET.
 THICK (2) PANELS TO BE USED FOR DEPTHS GREATER THAN 10 FEET.
 ALL PANELS TO BE SPECIFICALLY CALLED FOR IN THE PLANS OR AS DETERMINED BY THE ENGINEER.

COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS AND ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS

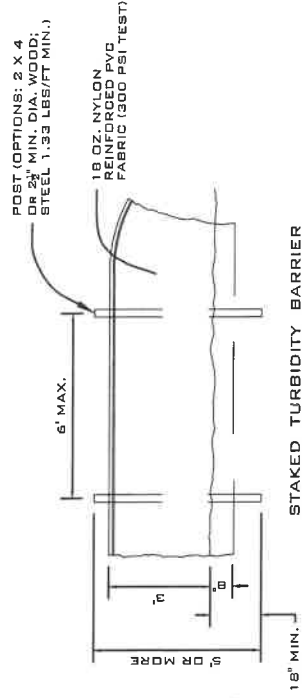


- LEGEND**
- FILE LOCATIONS
 - ▨ DREDGE OR FILL AREA
 - ⚓ MOORING BUOY W/ANCHOR
 - ⊥ ANCHOR
 - BARRIER MOVEMENT DUE TO CURRENT ACTION



TURBIDITY BARRIERS FOR FLOWING STREAMS AND TIDAL CREEKS MAY BE EITHER FLOATING OR STAKED TYPES OR ANY COMBINATIONS OF TYPES THAT WILL SUIT SITE CONDITIONS AND MEET EROSION CONTROL AND WATER QUALITY REQUIREMENTS. THE BARRIER TYPES WILL BE SPECIFIED IN THE PLANS, HOWEVER PAYMENT WILL BE UNDER THE PAY ITEM(S) ESTABLISHED IN THE PLANS FOR FLOATING TURBIDITY BARRIER AND/OR STAKED TURBIDITY BARRIER. BARRIERS TO BE INSTALLED IN VERTICAL POSITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

NOTE: STAKED TURBIDITY BARRIERS ARE RECOMMENDED FOR THIS PROJECT



1 TURBIDITY BARRIER DETAIL
62 N.T.S.

- NOTES:**
1. TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT BODIES OF WATER REGARDLESS OF WATER DEPTH.
 2. NUMBER AND SPACING OF ANCHORS DEPENDENT ON CURRENT VELOCITIES.
 3. DEPLOYMENT OF BARRIER AROUND PILE LOCATIONS MAY VARY TO ACCOMMODATE CONSTRUCTION OPERATIONS.
 4. NAVIGATION MAY REQUIRE SEGMENTING BARRIER DURING CONSTRUCTION OPERATIONS.
 5. FOR ADDITIONAL INFORMATION SEE SECTION 104 OF THE STANDARD SPECIFICATIONS.

SCE
SOUTHEASTERN
 CONSULTING ENGINEERS, INC.
 P.O. BOX 141
 WEWAHITCHKA, FLORIDA 32465
 950.639.3950

SHEET TITLE

EROSION CONTROL DETAILS

CLIENT

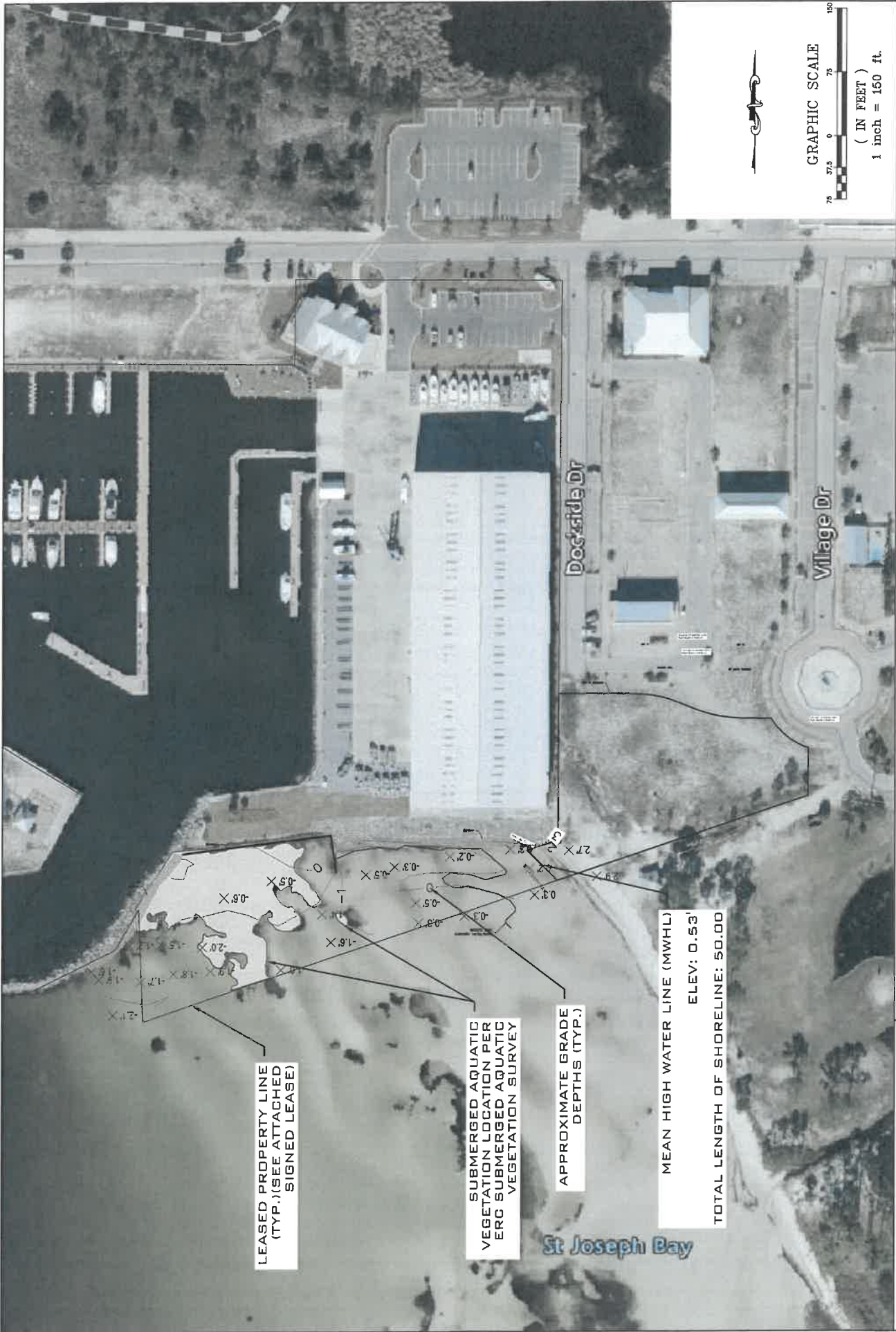
MARINA COTTAGES BOARDWALK

JOB NO.

23-881-01

SHEET NO.

G2



LEASED PROPERTY LINE
(TYP.) (SEE ATTACHED
SIGNED LEASE)

SUBMERGED AQUATIC
VEGETATION LOCATION PER
ERG SUBMERGED AQUATIC
VEGETATION SURVEY

APPROXIMATE GRADE
DEPTHS (TYP.)

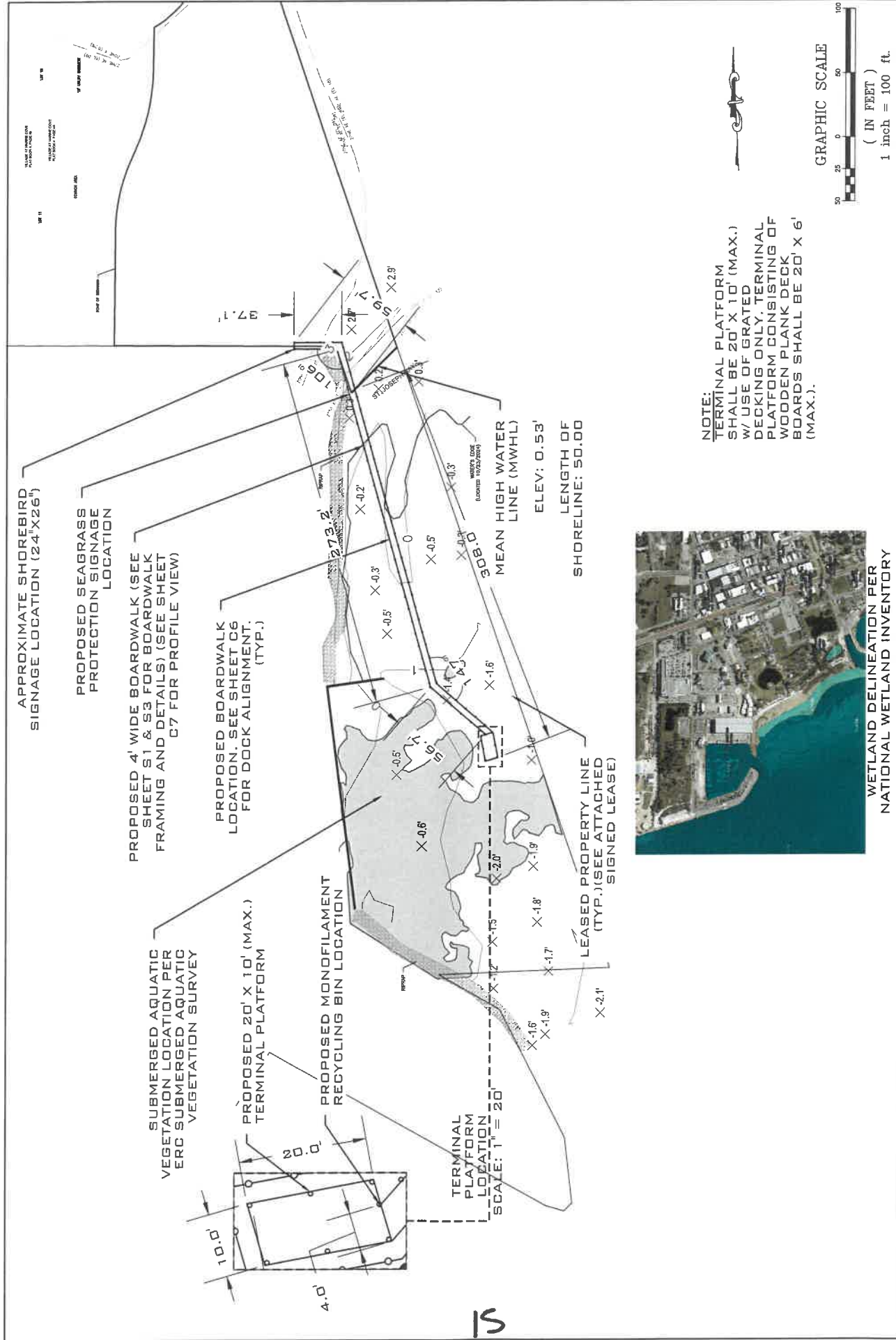
MEAN HIGH WATER LINE (MHWL)
ELEV: 0.53'
TOTAL LENGTH OF SHORELINE: 50.00

St Joseph Bay

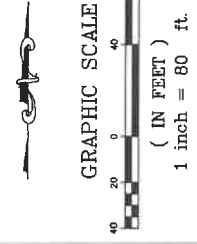
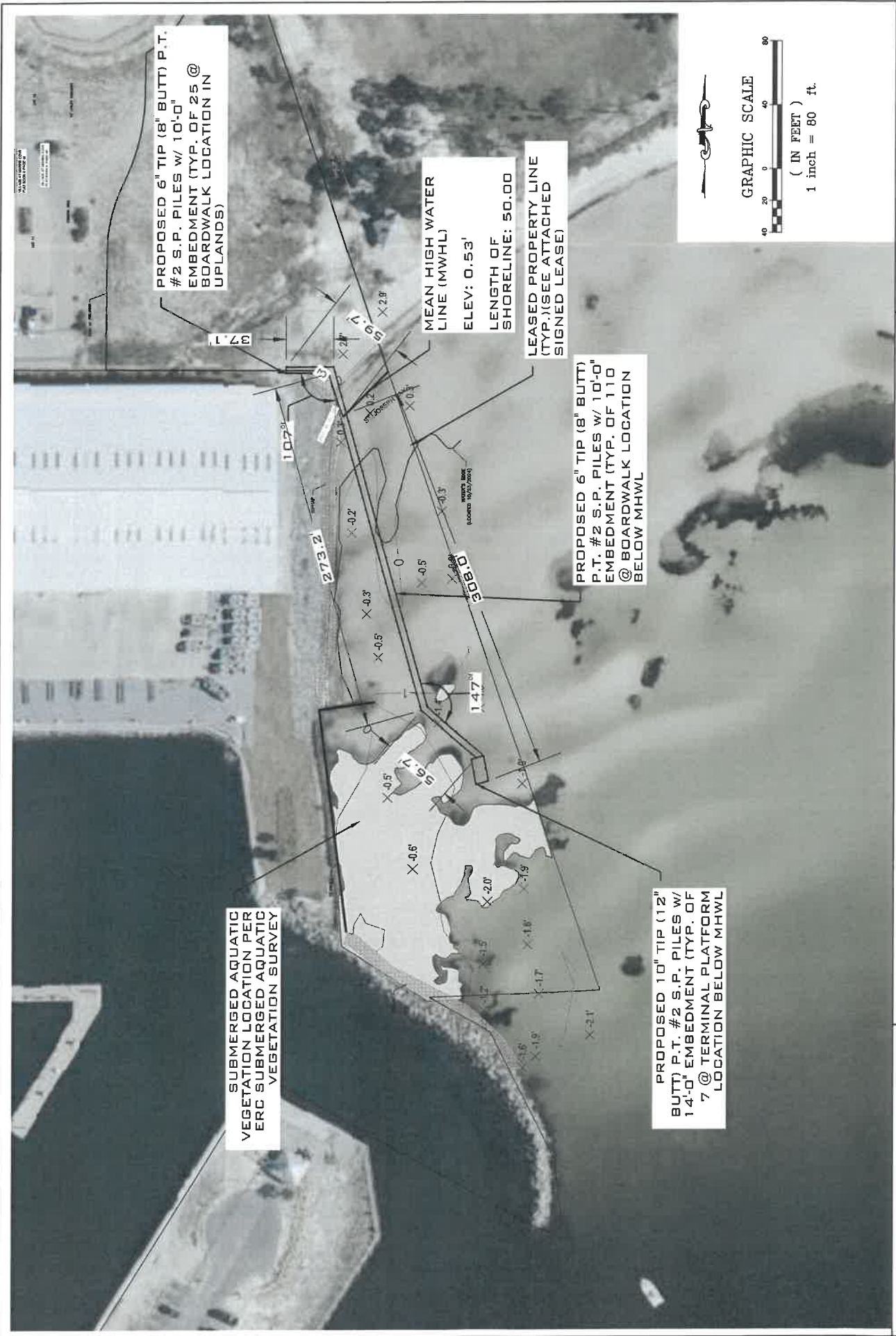


GRAPHIC SCALE
(IN FEET)
1 inch = 150 ft.

JOB NO.	AERIAL OF EXISTING SITE CONDITIONS	SHEET TITLE
23-881-01	MARINA COTTAGES BOARDWALK	CLIENT
SHEET NO.	C1	 <p>SOUTHEASTERN CONSULTING ENGINEERS, INC. P.O. BOX 141 WEAHHITCH, OKLA 73060 850.639.3960</p>

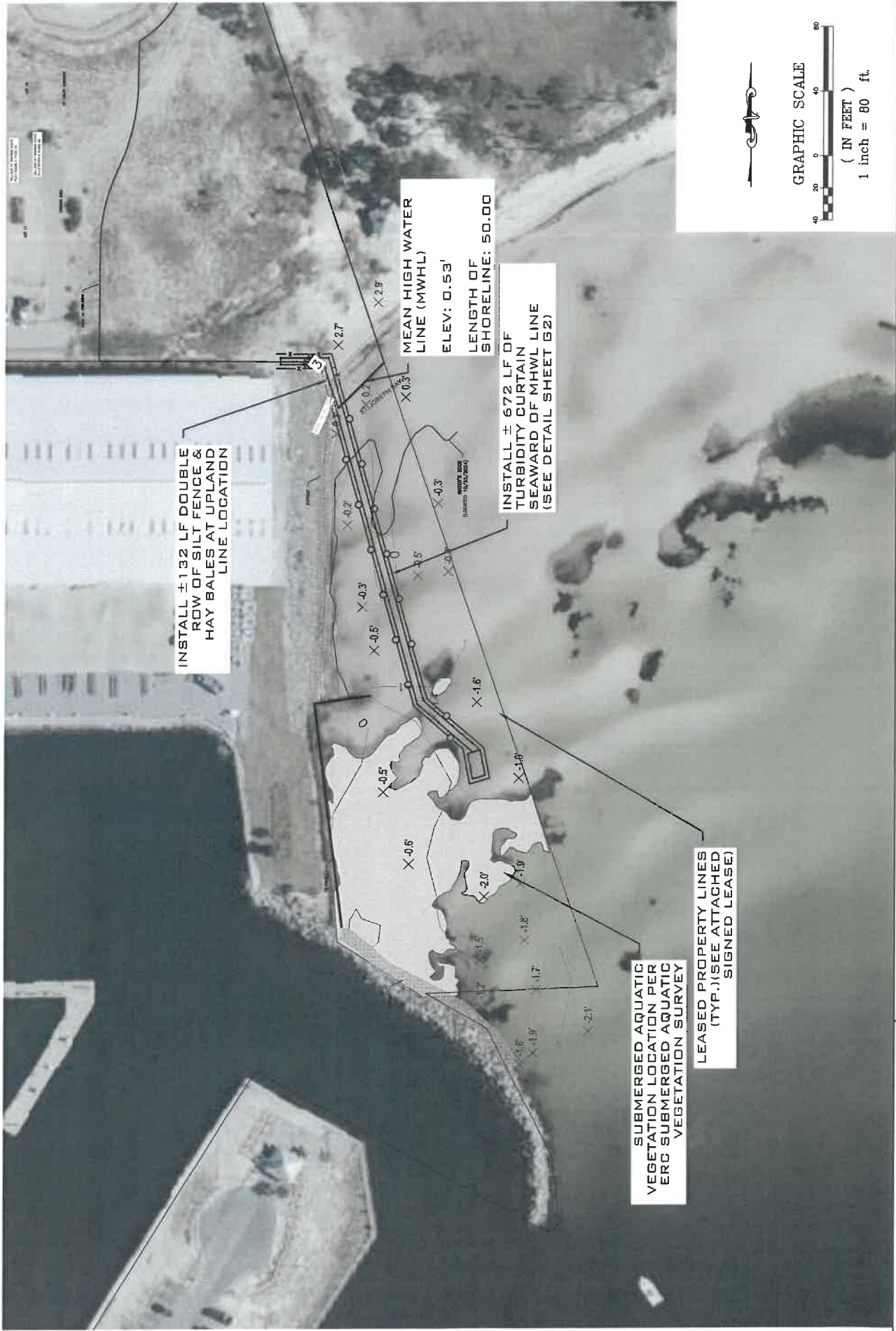


 <p>SOUTHEASTERN CONSULTING ENGINEERS, INC. 501 N. W. 10th St. MIAMI, FLORIDA 33136 305.535.3960</p>	<p>SHEET TITLE</p> <p>SITE PLAN</p>	<p>JOB NO.</p> <p>23-881-01</p>
<p>CLIENT</p> <p>MARINA COTTAGES BOARDWALK</p>	<p>SHEET NO.</p> <p>C2</p>	

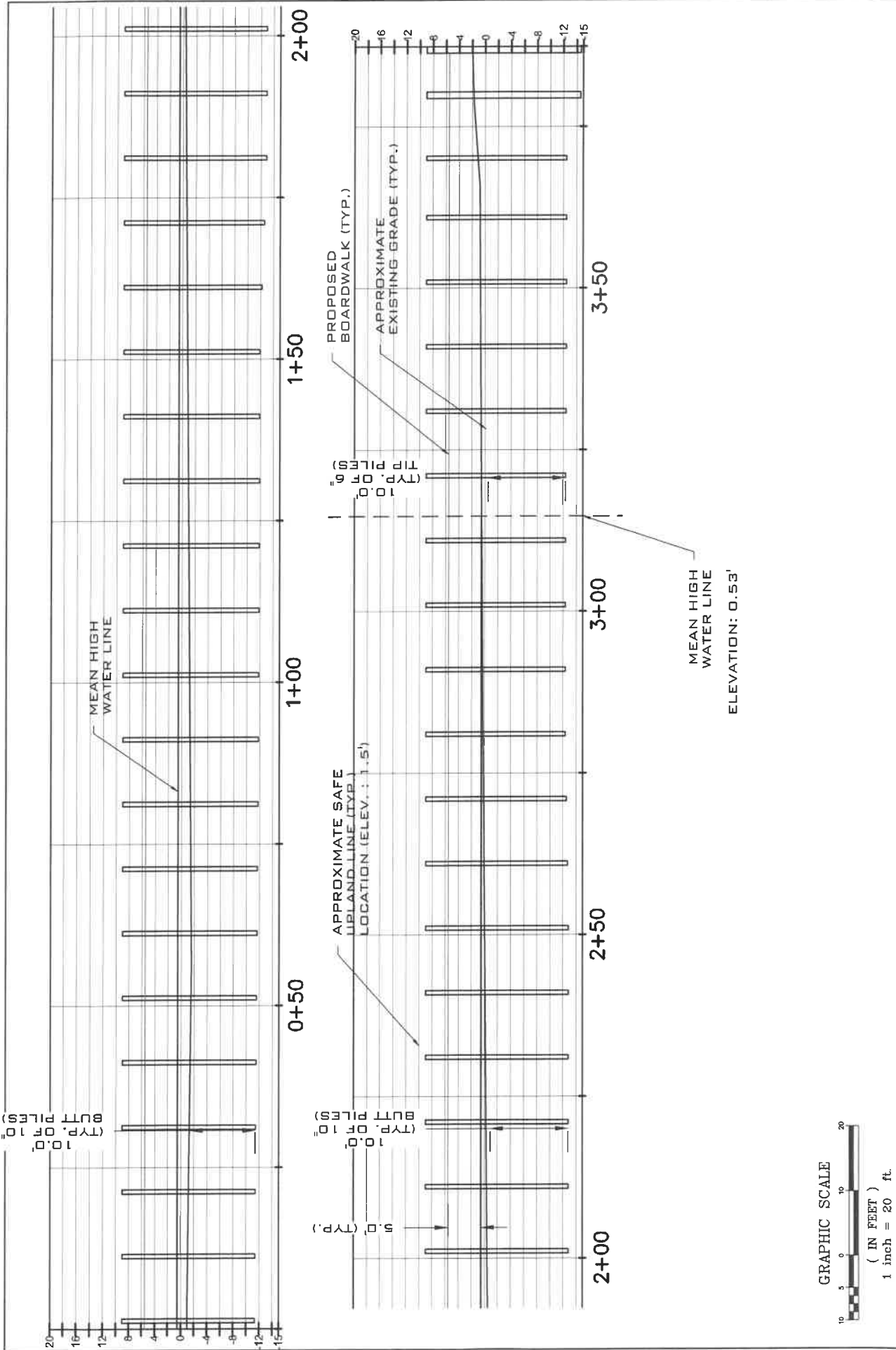


JOB NO.	23-881-01
SHEET TITLE	DREDGE & FILL
SHEET NO.	C3
CLIENT	MARINA COTTAGES BOARDWALK

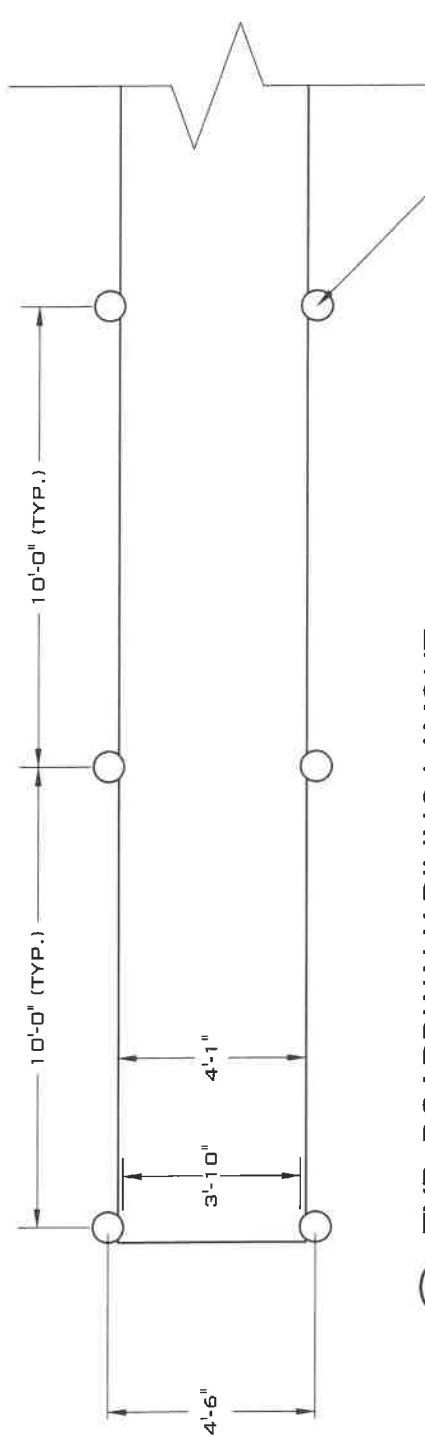
SCOE
SOUTHEASTERN
 CONSULTING ENGINEERS, INC.
 P.O. BOX 1111
 WEAHATCHKA, FLORIDA 32465
 850.639.3960



<p>SCE SOUTHEASTERN CONSULTING ENGINEERS, INC. 8000 BAYVIEW BLVD. WEAHATCHEE, FLORIDA 322465 850.639.3560</p>	<p>SHEET TITLE</p> <p>EROSION CONTROL PLAN</p>	<p>JOB NO.</p> <p>23-881-01</p>
<p>CLIENT</p> <p>MARINA COTTAGES BOARDWALK</p>	<p>SHEET NO.</p> <p>C4</p>	



<p>GRAPHIC SCALE (IN FEET) 1 inch = 20 ft.</p>	<p>DOCK PROFILE</p>	<p>JOB NO. 23-881-01</p>
<p>SCE SOUTHEASTERN CONSULTING ENGINEERS, INC. BOKA RATON, FLORIDA 33465 850.639.3860</p>	<p>SHEET TITLE</p>	<p>SHEET NO. C7</p>
<p>CLIENT</p>	<p>MARINA COTTAGES BOARDWALK</p>	<p>ELEVATION: 0.53'</p>

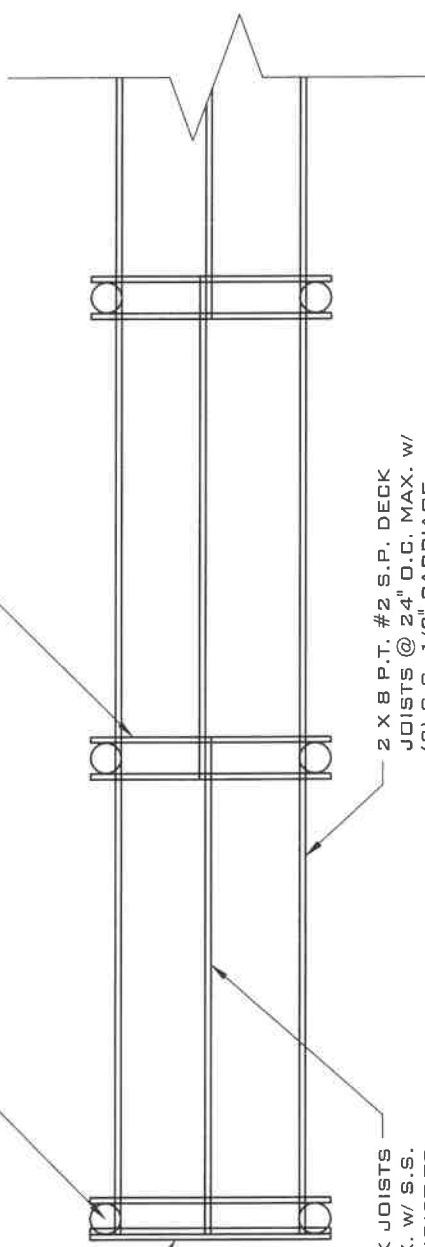


1
S1
TYP. BOARDWALK PILING LAYOUT
SCALE: 1/4" = 1'-0"

6" TIP (8" BUTT) P.T. #2 S.P. PILES MIN. EMBED. OF 10'-0" (TYP.)

(2) 2 X 8 P.T. #2 S.P. DROP BEAM (ONE ON EACH SIDE OF PILE) W/ (2) 1/2" S.S. CARRIAGE BOLTS, NUTS & HARDWARE (TYP.)

6" TIP (8" BUTT) P.T. #2 S.P. PILES MIN. EMBED. OF 10'-0" (TYP.)



2 X 8 P.T. #2 S.P. DECK JOISTS @ 24" O.C. MAX. W/ (2) S.S. 1/2" CARRIAGE BOLTS, NUTS & HARDWARE @ EACH PILE CONN. (TYP.)

2 X 8 P.T. #2 S.P. DECK JOISTS @ 24" O.C. MAX. W/ S.S. SIMPSON H2-5A @ JOIST TO DROP BEAM CONN. (TYP.)

2
S1
TYP. BOARDWALK FRAMING PLAN
SCALE: 1/4" = 1'-0"

- NOTE:
1. ALL TIMBER PILES SHALL BE 2.3 CCA TREATMENT OR BETTER.
 2. ALL FRAMING MATERIALS SHALL BE CRITICAL STRUCTURE MCA TREATMENT OR BETTER.
 3. ALL DECK BOARDS SHALL BE 0.15 MCA TREATMENT OR BETTER.
 4. ALL HARDWARE SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED, STAINLESS STEEL IS RECOMMENDED.
 5. ALL TIMBER SHALL BE #2 SOUTHERN PINE (MIN.)

22

	<p>SHEET TITLE BOARDWALK FRAMING PLAN</p> <p>CLIENT MARINA COTTAGES BOARDWALK</p>	<p>JOB NO. 23-881-01</p> <p>SHEET NO. S1</p>
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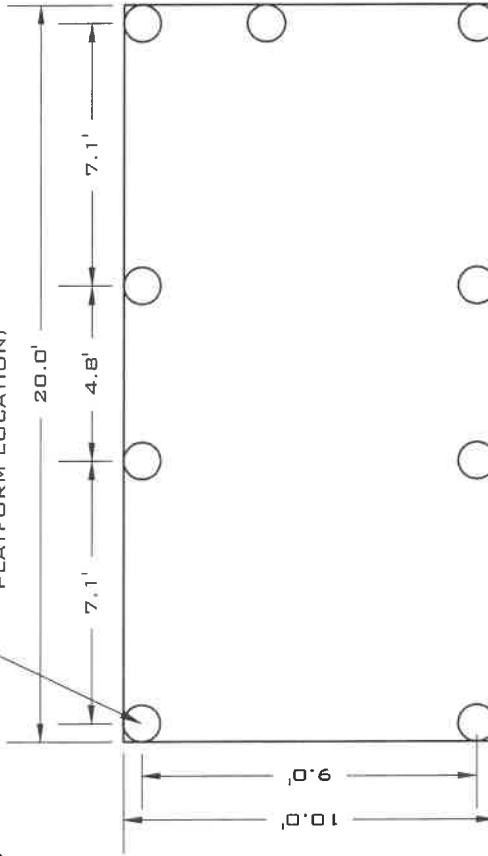
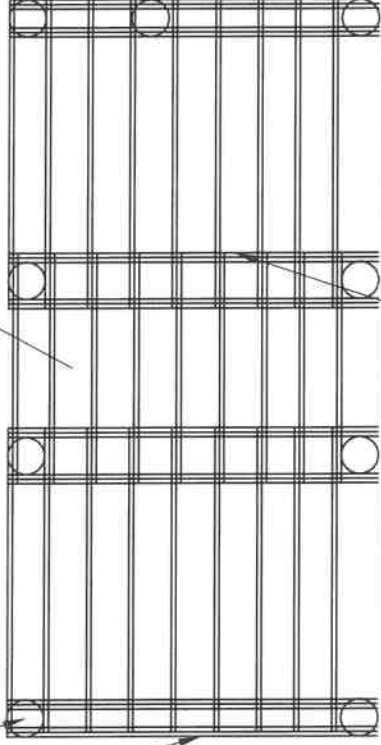
10" TIP (12" BUTT) P.T. #2 S.P. PILES MIN. EMBED OF 14'-0" (TYP. OF 8 @ TERMINAL PLATFORM LOCATION)

2 X 12 P.T. #2 S.P. RIM JOISTS W/ (3) S.S. #9 DECK SCREWS @ EACH JOIST CONN. (TYP @ EXTERIOR)

2 X 12 P.T. #2 S.P. DECK JOISTS STAGGERED @ 16" O.C. MAX. W/ S.S. SIMPSON H2.5A @ JOIST TO DROP BEAM CONN. (TYP.)

10" TIP (12" BUTT) P.T. #2 S.P. PILES MIN. EMBED OF 14'-0" (TYP. OF 8 @ TERMINAL PLATFORM LOCATION)

(4) 2 X 12 P.T. #2 S.P. DROP BEAM (2 ON EACH SIDE) W/ (2) 1/2" S.S. CARRIAGE BOLTS, NUTS & HARDWARE (TYP. @ PILE CONN.)



2 TERMINAL PLATFORM FRAMING PLAN
SCALE: N.T.S.

- NOTE:
1. ALL TIMBER PILES SHALL BE 2,3 CCA TREATMENT OR BETTER.
 2. ALL FRAMING MATERIALS SHALL BE CRITICAL STRUCTURE MCA TREATMENT OR BETTER.
 3. ALL DECK BOARDS SHALL BE 0.15 MCA TREATMENT OR BETTER.
 4. ALL HARDWARE SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZE, STAINLESS STEEL IS RECOMMENDED.
 5. ALL TIMBER SHALL BE #2 SOUTHERN PINE (MIN.)

TYPICAL BOARDWALK FRAMING PER DETAILS ON SHEETS S1 & S3

1 PILE LAYOUT PLAN
SCALE: 1/8" = 1'-0"

23

SCE
SOUTHEASTERN
 CONSULTING ENGINEERS, INC.
 1000 W. UNIVERSITY BLVD.
 WEAHITCHKA, FLORIDA 32465
 850.639.3860

SHEET TITLE

PLATFORM PILE AND FRAMING PLAN

JOB NO.

23-881-01

CLIENT

MARINA COTTAGES BOARDWALK

SHEET NO.

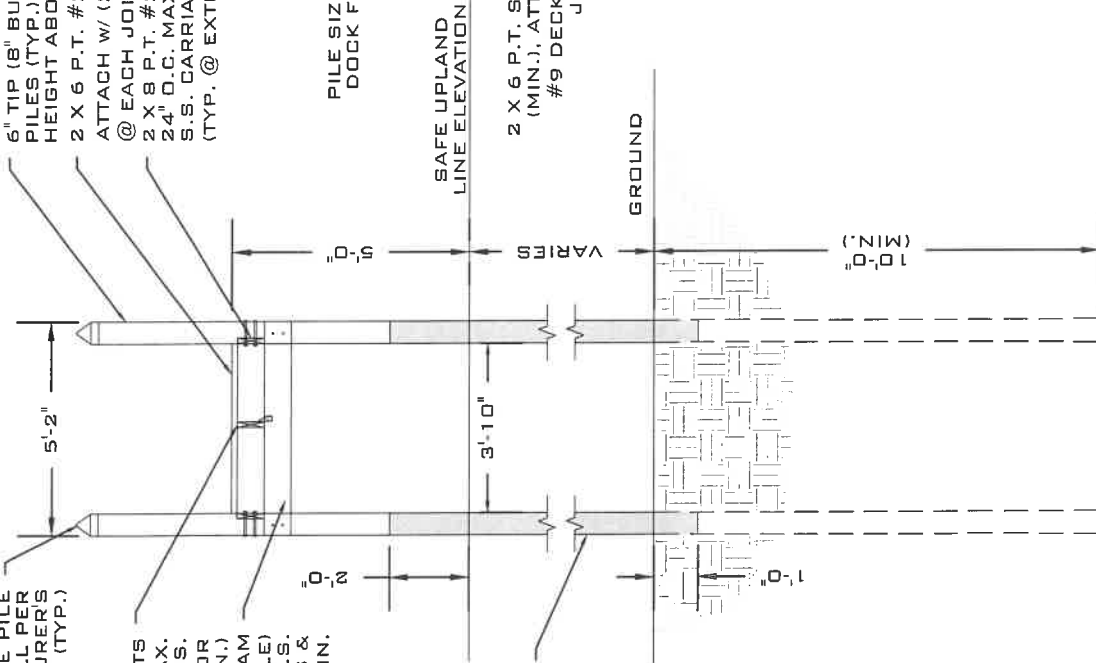
S2

8" BLACK ROUND GONE PILE CAP, INSTALL PER MANUFACTURER'S SPECIFICATIONS (TYP.)

2 X 8 P.T. #2 S.P. JOISTS STAGGERED @ 24" O.C. MAX. ATTACH TO DROP BEAM W/ S.S. SIMPSON H2.5A (TYP. @ INTERIOR JOIST TO DROP BEAM CONN.) (2) 2 X 8 P.T. #2 S.P. DROP BEAM (ONE ON EACH SIDE OF PILE) ATTACH TO PILE USING (2) 1/2" S.S. CARRIAGE BOLTS, NUTS & HARDWARE @ EACH PILE CONN.

INSTALL .030" H.D.P.E. BLACK PILE WRAP THAT EXTENDS A MIN. 2'-0" ABOVE MHWL & 1'-0" BELOW MUDLINE. INSTALL WITH 1-1/4" STAINLESS STEEL RING SHANK ROOFING NAILS @ 24" O.C. ALONG SEAM. (TYP. @ ALL PILES)

24



1 TYP. BOARDWALK SECTION
SCALE: N.T.S.

6" TIP (8" BUTT) P.T. #2 S.P. PILES (TYP.) W/ 48" MIN. PILE HEIGHT ABOVE DECKING.
2 X 6 P.T. #2 S.P. DECK BOARDS (MIN.), ATTACH W/ (2) 3" S.S. #9 DECK SCREWS @ EACH JOIST CONN. (TYP.)
2 X 8 P.T. #2 S.P. JOISTS STAGGERED @ 24" O.C. MAX. ATTACH TO PILE W/ (2) 1/2" S.S. CARRIAGE BOLTS, NUTS & HARDWARE (TYP. @ EXTERIOR JOIST TO PILE CONN.)

PILE SIZE VARIES, SEE DOCK FRAMING PLAN.

SAFE UPLAND LINE ELEVATION

2 X 6 P.T. S.P. DECK BOARDS (MIN.), ATTACH W/ (2) 3" S.S. #9 DECK SCREWS @ EACH JOIST CONN. (TYP.)

1/2" SPACING BETWEEN DECK BOARDS (TYP.)

2 DECK BOARD DETAIL
SCALE: N.T.S.

- NOTE:
1. ALL TIMBER PILES SHALL BE 2.3 OCA TREATMENT OR BETTER.
 2. ALL FRAMING MATERIALS SHALL BE CRITICAL STRUCTURE MCA TREATMENT OR BETTER.
 3. ALL DECK BOARDS SHALL BE 0.15 MCA TREATMENT OR BETTER.
 4. ALL HARDWARE SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZE, STAINLESS STEEL IS RECOMMENDED.
 5. ALL TIMBER SHALL BE #2 SOUTHERN PINE (MIN.)

SHEET TITLE

BOARDWALK FRAMING DETAILS

JOB NO.

23-881-01

CLIENT

MARINA COTTAGES BOARDWALK

SHEET NO.

S3

SCE
SOUTHEASTERN
CONSULTING ENGINEERS, INC.
WEWAHITCHKA, FLORIDA 32465
850.635.3860

2 X 6 P.T. #2 S.P. DECK BOARDS
(SEE DETAIL 2-53)

2 X 12 P.T. #2 S.P. DECK JOISTS
@ 16" O.C. MAX. W/ S.S. SIMPSON
H2-5A (TYP. @ INTERIOR JOIST TO
DROP BEAM CONN.)

2 X 12 P.T. #2 S.P. RIM
JOIST W/ (5) S.S. 3.5" #9
DECK SCREWS @ EACH
JOIST CONN. (TYP.)

(4) 2 X 12 P.T. #2 S.P. DROP
BEAM (TWO ON EACH SIDE OF
PILE) W/ (2) 5/8" S.S. CARRIAGE
BOLTS, NUTS & HARDWARE (TYP.
@ PILE CONN.)



SEE DETAIL 1-S3 FOR PILE WRAP
REQUIREMENTS (TYP. @ ALL PILES)


14'-0"

1
S4

TYP. TERMINAL PLATFORM SECTION

SCALE: N.T.S.

- NOTE:
1. ALL TIMBER PILES SHALL BE 2.3 CCA TREATMENT OR BETTER.
 2. ALL FRAMING MATERIALS SHALL BE CRITICAL STRUCTURE MCA TREATMENT OR BETTER.
 3. ALL DECK BOARDS SHALL BE 0.15 MCA TREATMENT OR BETTER.
 4. ALL HARDWARE SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZE, STAINLESS STEEL IS RECOMMENDED.
 5. ALL TIMBER SHALL BE #2 SOUTHERN PINE (MIN.)

 <p>SOUTHEASTERN CONSULTING ENGINEERS, INC. P.O. BOX 141 WEWAHITCHKA, FLORIDA 32465 850.639.3860</p>	<p>SHEET TITLE</p> <p>TYP. TERMINAL PLATFORM SECTION</p> <p>CLIENT</p> <p>MARINA COTTAGES BOARDWALK</p>	<p>JOB NO.</p> <p>23-881-01</p> <p>SHEET NO.</p> <p>S4</p>
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FLORIDA DEPARTMENT OF Environmental Protection

Northwest District
160 W. Government Street, Suite 308
Pensacola, Florida 32502-5794

Ron DeSantis
Governor

Jay Collins
Lt. Governor

Alexis A. Lambert
Secretary

Permittee/Authorized Entity:
St. Joe Marina Cottages, LLC
c/o Charles Haskett, Managing Member
161 Good Morning St, Suite 201
Port St. Joe, FL 32456
chaskett@bonavic.com

St. Joe Marina Cottages Pier

Authorized Agent:
Dewberry Engineering
Delbert Horton II, Professional Engineer
203 Aberdeen Pkwy
Panama City, FL 32405
tcampbell@ecoresource.com

**Environmental Resource Permit
State-owned Submerged Lands Authorization – Not Applicable**

**U.S. Army Corps of Engineers Authorization – Separate Corps Authorization
Required**

Gulf County
Permit No.: 0411396-004-EI/23

**Permit Issuance Date: March 24, 2026
Permit Construction Phase Expiration Date: March 17, 2031**



FLORIDA DEPARTMENT OF Environmental Protection

Northwest District
160 W. Government Street, Suite 308
Pensacola, Florida 32502-5794

Ron DeSantis
Governor

Jay Collins
Lt. Governor

Alexis A. Lambert
Secretary

Environmental Resource Permit

Permittee: St. Joe Marina Cottages, LLC
Permit No: 0411396-004-EI/23

PROJECT LOCATION

The activities authorized by this permit are located at 282 Dockside Drive and 340 Marina Drive, Port St. Joe, Florida 32456, Parcel Nos. 04594-030R and 04594-012R (respectively), Section 2, Township 8 South, Range 11 West, in Gulf County, at 29°48'50.3330" North Latitude, 85°18'29.4294" West Longitude.

PROJECT DESCRIPTION

The permittee is authorized to construct a private pier totaling 1,677.96 sq. ft. of overwater surface area within St. Joseph Bay, a Class II Florida Waterbody and Prohibited Shellfish Harvesting Area. Authorized activities are depicted on the attached exhibits.

AUTHORIZATIONS

St. Joe Marina Cottages Pier Environmental Resource Permit

The Department has determined that the activity qualifies for an Environmental Resource Permit. Therefore, the Environmental Resource Permit is hereby granted, pursuant to Part IV of Chapter 373, Florida Statutes (F.S.), and Chapter 62-330, Florida Administrative Code (F.A.C.).

Sovereignty Submerged Lands Authorization

As staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees), the Department has determined the activity is not on submerged lands owned by the State of Florida. Therefore, your project is not subject to the requirements of Chapter 253, F.S., or Rule 18-21, F.A.C.

Federal Authorization

Your proposed activity as outlined on your application and attached drawings **does not qualify** for Federal authorization pursuant to the State Programmatic General Permit and a **SEPARATE permit** or authorization **may be required** from the Corps. You must apply separately to the Corps using the Application for Department of the Army Permit (ENG 4345) or alternative as allowed by Corps regulations. More information on Corps permitting may be found online in the Jacksonville District Regulatory Division Sourcebook:

(<https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book/>).

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Coastal Zone Management Consistent

Issuance of this authorization also constitutes a finding of consistency with Florida's Coastal Zone Management Program, as required by Section 307 of the Coastal Zone Management Act.

Water Quality Certification Granted

This permit also constitutes a grant of water quality certification under Section 401 of the Clean Water Act, 33 U.S.C. Section 1341. Pursuant to Rule 62-330.062, F.A.C. issuance of the individual or conceptual approval permit under this chapter shall constitute certification of compliance with water quality standards.

Other Authorizations

You are advised that authorizations or permits for this activity may be required by other federal, state, regional, or local entities including but not limited to local governments or municipalities. This permit does not relieve you from the requirements to obtain all other required permits or authorizations.

The activity described may be conducted only in accordance with the terms, conditions and attachments contained in this document. Issuance and granting of the permit and authorizations herein do not infer, nor guarantee, nor imply that future permits, authorizations, or modifications will be granted by the Department.

PERMIT CONDITIONS

The activities described must be conducted in accordance with:

- **The Specific Conditions**
- **The General Conditions**
- **The limits, conditions and locations of work shown in the attached drawings**
- **The term limits of this authorization**

You are advised to read and understand these conditions and drawings prior to beginning the authorized activities, and to ensure the work is conducted in conformance with all the terms, conditions, and drawings herein. If you are using a contractor, the contractor also should read and understand these conditions and drawings prior to beginning any activity. Failure to comply with these conditions, including any mitigation requirements, shall be grounds for the Department to revoke the permit and authorization and to take appropriate enforcement action. Operation of the facility is not authorized except when determined to be in conformance with all applicable rules and this permit, as described.

SPECIFIC CONDITIONS

1. The construction phase expires at 11:59 p.m. on the date indicated on the cover page of this permit.
2. For emergencies involving a serious threat to the public health, safety, welfare, or environment, the emergency telephone contact number is (800) 320-0519 (State Warning Point). The Department telephone number for reporting nonthreatening problems or system malfunctions is (850) 595-0663, day or night.
3. The mailing address for submittal of forms for the "Construction Commencement Notice", "As-Built Certification ...", "Request for Conversion of Stormwater Management Permit Construction Phase to Operation and Maintenance Phase", or other correspondence is FDEP, SLERP, 160 W Government Street, Suite 308, Pensacola, Florida 32502.

SPECIFIC CONDITIONS – PRIOR TO ANY CONSTRUCTION

4. Best management practices for erosion control shall be implemented prior to construction commencement and shall be maintained at all times during construction to prevent siltation and turbid discharges in excess of State water quality standards pursuant to Rule 62-302, F.A.C. Methods shall include but not limited to the use of stacked haybales, stacked filter cloth, sodding, seeding, staged construction and the installation of turbidity screens around the immediate project site.
5. Prior to construction, the limits of impact shall be clearly marked in a way which is visible and obvious to anyone performing work on-site, including someone operating heavy equipment. Orange construction fence or tall flagged stakes along the construction limits are possible methods.
6. Prior to the initiation of any work authorized by this permit, floating turbidity curtains with weighted skirts that extend to within 1 ft. of the bottom shall be placed for the duration of the construction area of the site. The screens shall be maintained and remain in place for the duration of construction to ensure turbidity levels outside the construction area do not exceed 29 NTU's above background levels. The permittee shall be responsible for inspecting and maintaining turbidity control devices so no violations of state water quality outside of turbidity screens occur.
7. All contractors involved in this permitted activity shall be provided copies of this permit in its entirety. A copy shall remain onsite at all times during the activities.

SPECIFIC CONDITIONS – CONSTRUCTION ACTIVITIES

8. Construction equipment shall not be repaired or refueled in wetlands or elsewhere within waters of the state.
9. Any damage to wetlands outside of the authorized impact areas as a result of construction shall be immediately reported to the Department at (850)595-8300 and repaired by reestablishing the pre-construction elevations and replanting vegetation of the same species, size, and density as that in the adjacent areas. The restoration shall be completed within 30 days

of completion of construction, and the Department shall be notified of its completion within that same 30-day period.

10. The following measures shall be taken by the permittee whenever turbidity levels within waters of the State surrounding the project site exceed 29 NTU's above background:
 - a) Immediately cease all work contributing to the water quality violation.
 - b) Modify the work procedures that were responsible for the violation, and install more turbidity containment devices and repair any non-functioning turbidity containment devices.
 - c) Notify the Department of Environmental Protection, Submerged Lands & Environmental Resources Program, Compliance and Enforcement Section, Northwest District Office, 160 W. Government Street, Pensacola, Florida, 32502-5794, in writing or by telephone at (850)595-8300 within 24 hours of time the violation was first detected.
11. There shall be no stock piling of tools, materials, (i.e. lumber, pilings, riprap, and debris) within wetlands, along the shoreline within the littoral zone, or elsewhere within the water/waters of the state.
12. All watercraft associated with the construction of the permitted structure shall only operate within waters of sufficient depth so as to preclude bottom scouring and prop dredging.
13. All cleared vegetation, excess lumber, scrap wood, trash, garbage and any other type of debris shall be removed from wetlands/waters of the state within 14 days of completion of the work authorized.
14. No dredging or filling of submerged grass beds is authorized by this permit.
15. Pilings within areas containing seagrasses shall be spaced at least ten feet apart and shall be installed by vibrating, pounding or hand-auguring them in place. Jetting of pilings within seagrass areas shall be prohibited. Sediments that accumulate on top of the adjacent seagrasses shall be removed by hand to prevent burial of the plants.
16. This permit does not authorize the construction of additional structures not illustrated on the permit drawings. Examples of additional structures, which are not authorized by this permit include but are not limited to: walkways, doors, awnings, and decking around or under the bottom of the pile-supported structures.

SPECIFIC CONDITIONS – MANATEE

17. The Permittee will adhere to the Standard Manatee Conditions for In-water Work (2011).

SPECIFIC CONDITIONS – OTHER LISTED SPECIES

18. This permit does not authorize the permittee to cause any adverse impact to or “take” of state listed species and other regulated species of fish and wildlife. Compliance with state laws regulating the take of fish and wildlife is the responsibility of the owner or permittee associated with this project. Please refer to Chapter 68A-27 of the Florida Administrative Code for definitions of “take” and a list of fish and wildlife species. If listed species are observed onsite, Florida Fish and Wildlife Conservation Commission (FWC) staff are available to provide decision support information or assist in obtaining the appropriate FWC permits. Most marine endangered and threatened species are statutorily protected and a “take” permit cannot be issued. Requests for further information or review can be sent to ConservationPlanningServices@MyFWC.com.

19. If new information (e.g. listing of new species, new critical habitat, etc.) shows that the magnitude of impacts to federally listed species has the potential for adverse effects, the U.S. Fish and Wildlife Service (USFWS) will notify the Department. The Department will initiate coordination with the permittee and with the USFWS to determine what adverse impacts are likely and if additional minimization measures, reporting, or monitoring are required in order to be consistent with the Endangered Species Act, as deemed necessary by USFWS.

20. The Permittee shall report any injured, sick, or dead federally or state listed animal(s) discovered onsite to the Florida Fish and Wildlife Conservation Commission Wildlife Alert number at 888-404-FWCC (3922).

SPECIFIC CONDITIONS – OPERATION AND MAINTENANCE ACTIVITIES

21. Overboard discharges of trash, human or animal waste, or fuel shall not occur at the pier.

22. The waterward corners of the pier shall be marked by a sufficient number of reflectors so as to be visible from the water at night by reflected light. The reflectors shall not be green or red in color.

23. All future authorized replacement pilings for support of the pier structures shall be spaced at least ten feet apart and shall be installed by vibrating, pounding or hand-auguring them in place. Jetting of pilings within seagrass areas shall be prohibited.

GENERAL CONDITIONS FOR INDIVIDUAL PERMITS

The following general conditions are binding on all individual permits issued under this chapter, except where the conditions are not applicable to the authorized activity, or where the conditions must be modified to accommodate project-specific conditions.

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under chapter 373, F.S.

2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation, June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5., F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice," (October 1, 2013), (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), incorporated by reference herein, indicating the expected start and completion dates. A copy of this form may be obtained from the Agency, as described in subsection 62-330.010(5), F.A.C., and shall be submitted electronically or by mail to the Agency. However, for activities involving more than one acre of construction that also require a NPDES stormwater construction general permit, submittal of the Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities, DEP Form 62-621.300(4)(b), shall also serve as notice of commencement of construction under this chapter and, in such a case, submittal of Form 62-330.350(1) is not required.
5. Unless the permit is transferred under rule 62-330.340, F.A.C., or transferred to an operating entity under rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms, and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
 - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex – "Construction Completion and Inspection Certification for Activities Associated with a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
 - b. For all other activities – "As-Built Certification and Request for Conversion to Operation Phase" [Form 62-330.310(1)].
 - c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:

- a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.4 of Volume I) as filed with the Florida Department of State, Division of Corporations, and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
 - b. Within 30 days of submittal of the as-built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation and Maintenance Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the Agency in writing of changes required by any other regulatory agency that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:
- a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in chapter 62-330, F.A.C.;
 - b. Convey to the permittee or create in the permittee any interest in real property;
 - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
 - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the Agency in writing:
- a. Immediately if any previously submitted information is discovered to be inaccurate; and
 - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.

13. Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.

14. If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850)245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, F.S. For project activities subject to prior consultation with the DHR and as an alternative to the above requirements, the permittee may follow procedures for unanticipated discoveries as set forth within a cultural resources assessment survey determined complete and sufficient by DHR and included as a specific permit condition herein.

15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under rule 62-330.201, F.A.C., provides otherwise.

16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under chapter 62-330, F.A.C., or cause violations of state water quality standards.

17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.

18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with subsection 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

19. In addition to those general conditions in subsection (1), above, the Agency shall impose any additional project-specific special conditions necessary to assure the permitted activities will not be harmful to the water resources, as set forth in rules 62-330.301 and 62-330.302, F.A.C., Volumes I and II, as applicable, and the rules incorporated by reference in this chapter.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because the administrative hearing process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, any e-mail address, any facsimile number, and telephone number of the petitioner, if the petitioner is not represented by an attorney or a qualified representative; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. You cannot justifiably rely on the finality of this decision unless notice of this decision and the right of substantially affected persons to challenge this decision has been

duly published or otherwise provided to all persons substantially affected by the decision. While you are not required to publish notice of this action, you may elect to do so pursuant Rule 62-110.106(10)(a).

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver will not apply to persons who have not received written notice of this action.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

EXECUTION AND CLERKING

Executed in Pensacola, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

 For

Kim Allen
Permitting Program Administrator

KRA:re

Attachments:

Standard Manatee Conditions for In-water Work, 2 pages
Project Drawings and Design Specs., 15 pages

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

Charles Haskett, Applicant, chaskett@bonavic.com
Delbert Horton II, Consultant, dhorton@dewberry.com
Todd Campbell, Consultant, tcampbell@ecoresource.com
Richard Earle, FDEP, Richard.Earle@FloridaDEP.gov
Kim Allen, FDEP, Kim.Allen@FloridaDEP.gov
Russell Sullivan, FDEP, Russell.Sullivan@FloridaDEP.gov
Mark Sumner, FDEP, Mark.C.Sumner@FloridaDEP.gov
Gulf County, bocc@gulfcounty-fl.gov

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F.S., with the designated Department Clerk, receipt of which is hereby acknowledged.



Clerk

March 24, 2026
Date

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK
2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Sitation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at ImperiledSpecies@myFWC.com
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.

CAUTION: MANATEE HABITAT


All project vessels

IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must

SHUT DOWN

Report any collision with or injury to a manatee:
Wildlife Alert:
1-888-404-FWCC(3922)
cell *FWC or #FWC



F.D.E.P. DREDGE AND FILL PERMIT DRAWINGS

SECTION	02	TOWNSHIP	8S	RANGE	11W
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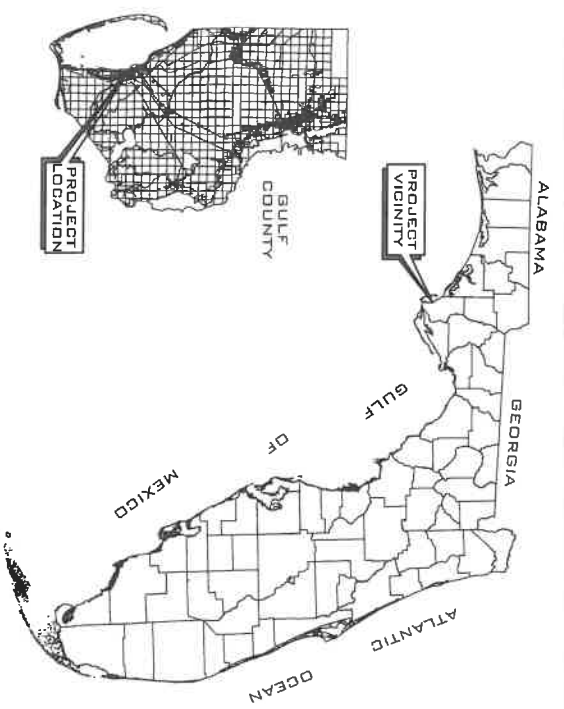
MARINA COTTAGES BOARDWALK

FOR

ST JOE MARINA COTTAGES, LLC
 GULF COUNTY PARCEL ID: 04594-030R
 PORT ST. JOE, GULF COUNTY, FL

OCTOBER 06, 2025

PROJECT VICINITY



INDEX OF SHEETS

SHEET	SHEET NAME
DVR	COVER SHEET
G1	PROJECT LOCATION
G2	EROSION CONTROL DETAILS
C1	AERIAL OF EXISTING SITE CONDITIONS
C2	SITE PLAN
C3	DREDGE & FILL
C4	EROSION CONTROL PLAN
C5	PROPOSED WATERWAY NAVIGATION
C6	DOCK ALIGNMENT
C7	DOCK PROFILE
C8	PREEMPTION AREA
S1	BOARDWALK FRAMING PLAN
S2	PILE LAYOUT PLAN & FRAMING PLAN
S3	BOARDWALK FRAMING DETAILS
S4	TYP. TERMINAL PLATFORM SECTION

11

THE ABOVE NAMED ENGINEER SHALL BE RESPONSIBLE FOR THE SHEETS LISTED IN THE SHEET INDEX BELOW IN ACCORDANCE WITH RULE 61G15-23.D04, F.A.C.



SOUTHEASTERN
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 P.O. BOX 141
 WEWAHITCHKA, FLORIDA 32465
 850.639.3960

SHEET TITLE

COVER SHEET

JOB NO.

23-881-01

CLIENT

MARINA COTTAGES BOARDWALK

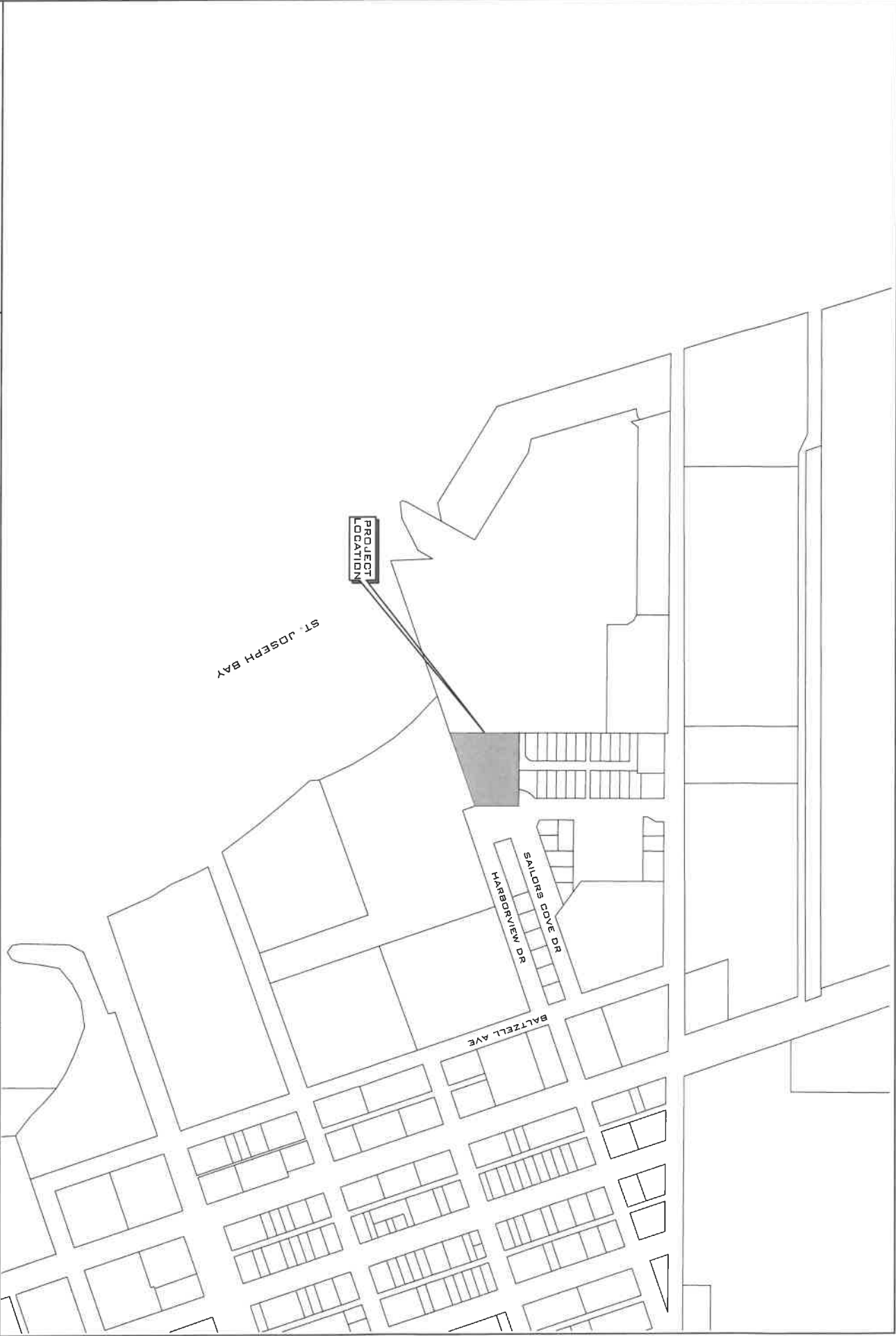
SHEET NO.

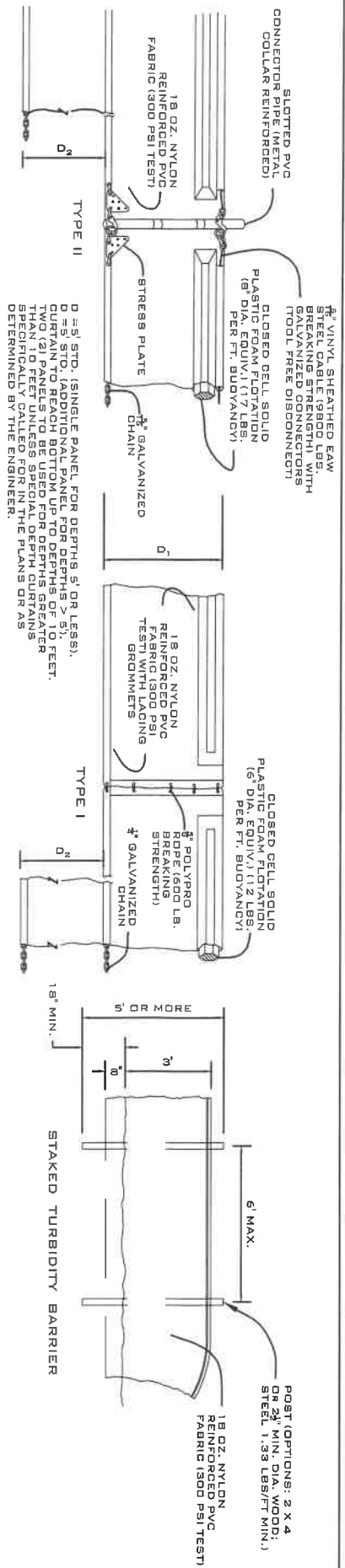
CVR

SCFE
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 CONSULTING ENGINEERS, INC.
 P.O. BOX 1141
 WEAHATCHKA, FLORIDA 32465
 950.639.3860

SHEET TITLE
PROJECT LOCATION
 CLIENT
MARINA COTTAGES BOARDWALK

JOB NO.
23-881-01
 SHEET NO.
G 1

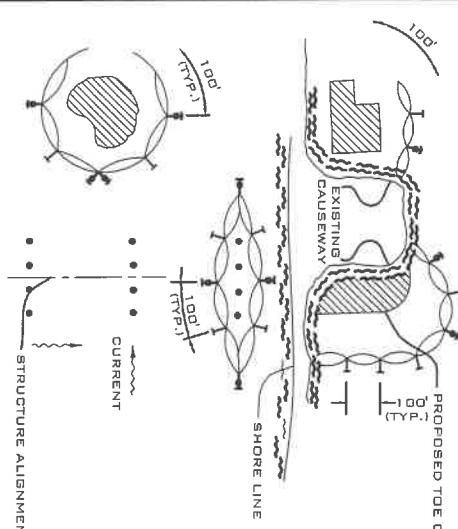




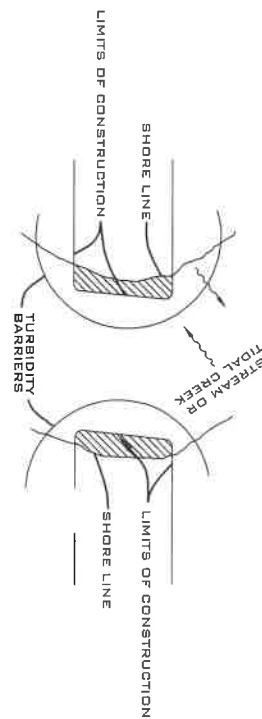
COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY SUBSTITUTIONS FOR TYPES I AND II SHALL BE THE DESIGNER'S RESPONSIBILITY AND SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS

NOTE: STAKED TURBIDITY BARRIERS ARE NOT RECOMMENDED FOR THIS PROJECT



- LEGEND
- PILE LOCATIONS
 - ▨ DREDGE OR FILL AREA
 - MODRING BUOY W/ANCHOR
 - ANCHOR
 - BARRIER MOVEMENT DUE TO CURRENT ACTION



TURBIDITY BARRIERS FOR FLOWING STREAMS AND TIDAL WATERS ARE DESIGNED TO PREVENT TURBIDITY FROM ENTERING SENSITIVE AREAS AND TO PREVENT EROSION CONTROL AND WATER QUALITY REQUIREMENTS. THE BARRIER TYPES WILL BE AT THE CONTRACTOR'S OPTION UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNDER THE PAY ITEMS) ESTABLISHED IN THE PLANS FOR FLOATING TURBIDITY BARRIER AND/OR STAKED TURBIDITY BARRIER. POSTS IN STAKED TURBIDITY BARRIERS TO BE INSTALLED IN STAKED TURBIDITY BARRIERS OTHERWISE DIRECTED BY THE ENGINEER.

- NOTES:
1. TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT BODIES OF WATER REGARDLESS OF WATER DEPTH.
 2. NUMBER AND SPACING OF ANCHORS DEPENDENT ON CURRENT VELOCITIES.
 3. DEPLOYMENT OF BARRIER AROUND PILE LOCATIONS MAY VARY TO ACCOMMODATE CONSTRUCTION OPERATIONS.
 4. NAVIGATION MAY REQUIRE SEGMENTING BARRIER DURING CONSTRUCTION OPERATIONS.
 5. FOR ADDITIONAL INFORMATION SEE SECTION 104 OF THE STANDARD SPECIFICATIONS.

1 TURBIDITY BARRIER DETAIL
G2 N.T.S.

<p>SOUTHEASTERN CONSULTING ENGINEERS, INC. P.O. BOX 1111 WEAHTCHKA, FLORIDA 32465 850.633.3860</p>	SHEET TITLE	JOB NO.
	<p>EROSION CONTROL DETAILS</p> <p>MARINA COTTAGES BOARDWALK</p>	<p>23-881-01</p>
CLIENT		SHEET NO.
		G2

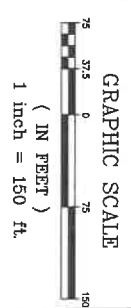
LEASED PROPERTY LINE
(TYP.) (SEE ATTACHED
SIGNED LEASE)

SUBMERGED AQUATIC
VEGETATION LOCATION PER
ERIC SUBMERGED AQUATIC
VEGETATION SURVEY

APPROXIMATE GRADE
DEPTHS (TYP.)

MEAN HIGH WATER LINE (MWWL)
ELEV: 0.53'
TOTAL LENGTH OF SHORELINE: 50.00'

St Joseph Bay



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SHEET TITLE: **AERIAL OF EXISTING SITE CONDITIONS**
 CLIENT: **MARINA COTTAGES BOARDWALK**

JOB NO.: **23-881-01**
 SHEET NO.: **G1**

75

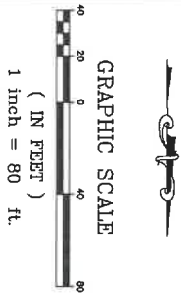
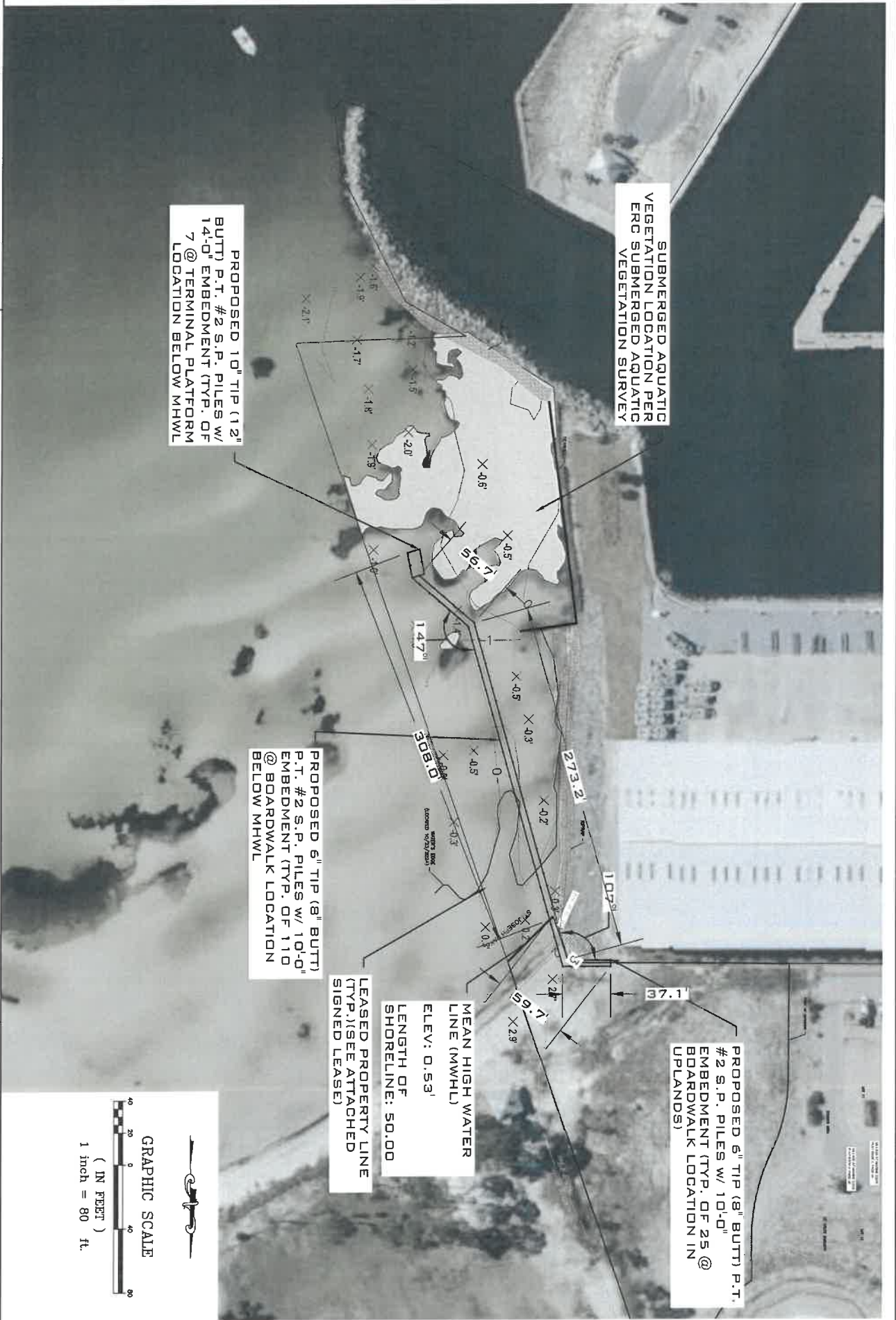
SUBMERGED AQUATIC
VEGETATION LOCATION PER
ERC SUBMERGED AQUATIC
VEGETATION SURVEY

PROPOSED 10" TIP (12" BUTT) P.T. #2 S.P. PILES W/ 14'-0" EMBEDMENT (TYP. OF 7 @ TERMINAL PLATFORM LOCATION BELOW MHWL

PROPOSED 6" TIP (8" BUTT) P.T. #2 S.P. PILES W/ 10'-0" EMBEDMENT (TYP. OF 110 @ BOARDWALK LOCATION BELOW MHWL

MEAN HIGH WATER
LINE (MHWL)
ELEV: 0.53'
LENGTH OF
SHORELINE: 50.00
LEASED PROPERTY LINE
(TYP.) (SEE ATTACHED
SIGNED LEASE)

PROPOSED 6" TIP (8" BUTT) P.T. #2 S.P. PILES W/ 10'-0" EMBEDMENT (TYP. OF 25 @ BOARDWALK LOCATION IN UPLANDS)



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SHEET TITLE	JOB NO.
DREDGE & FILL	23-881-01
CLIENT	SHEET NO.
MARINA COTTAGES BOARDWALK	G3



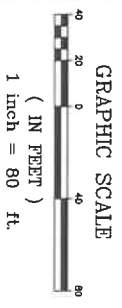
INSTALL ±132 LF DOUBLE ROW OF SILT FENCE & HAY BALES AT UPLAND LINE LOCATION

INSTALL ± 672 LF OF TURBIDITY CURTAIN SEAWARD OF MHWL LINE (SEE DETAIL SHEET G2)

MEAN HIGH WATER LINE (MHWL)
ELEV: 0.53'
LENGTH OF SHORELINE: 50.00

LEASED PROPERTY LINES (TYP.) (SEE ATTACHED SIGNED LEASE)

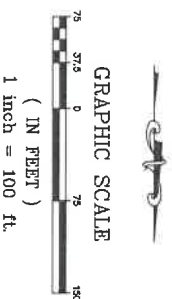
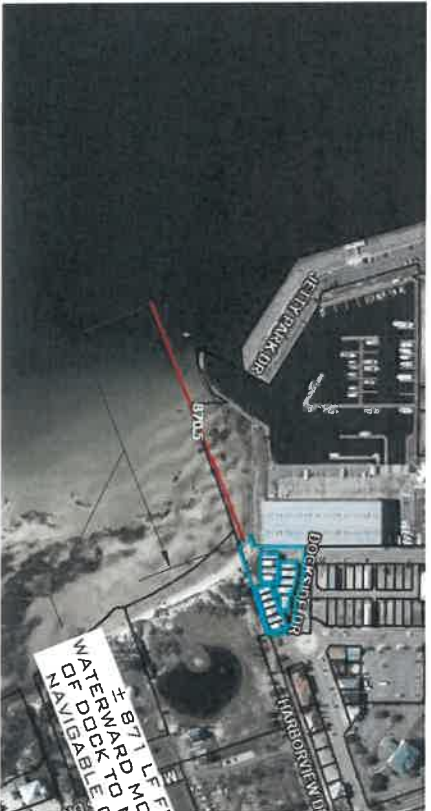
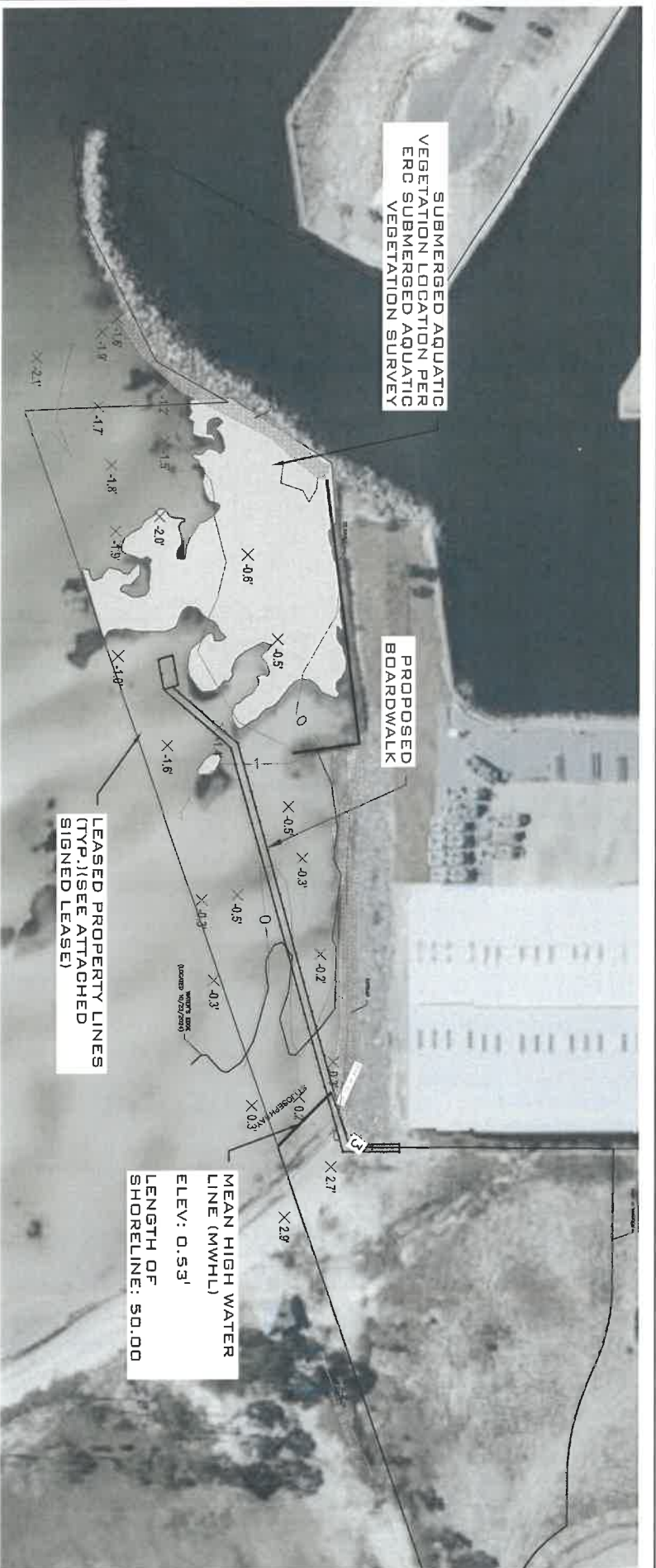
SUBMERGED AQUATIC VEGETATION LOCATION PER ERC SUBMERGED AQUATIC VEGETATION SURVEY



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SHEET TITLE
EROSION CONTROL PLAN
 CLIENT
MARINA COTTAGES BOARDWALK

JOB NO.
23-881-01
 SHEET NO.
G4



SHEET TITLE

PROPOSED WATERWAY NAVIGATION

JOB NO.

23-881-01

CLIENT

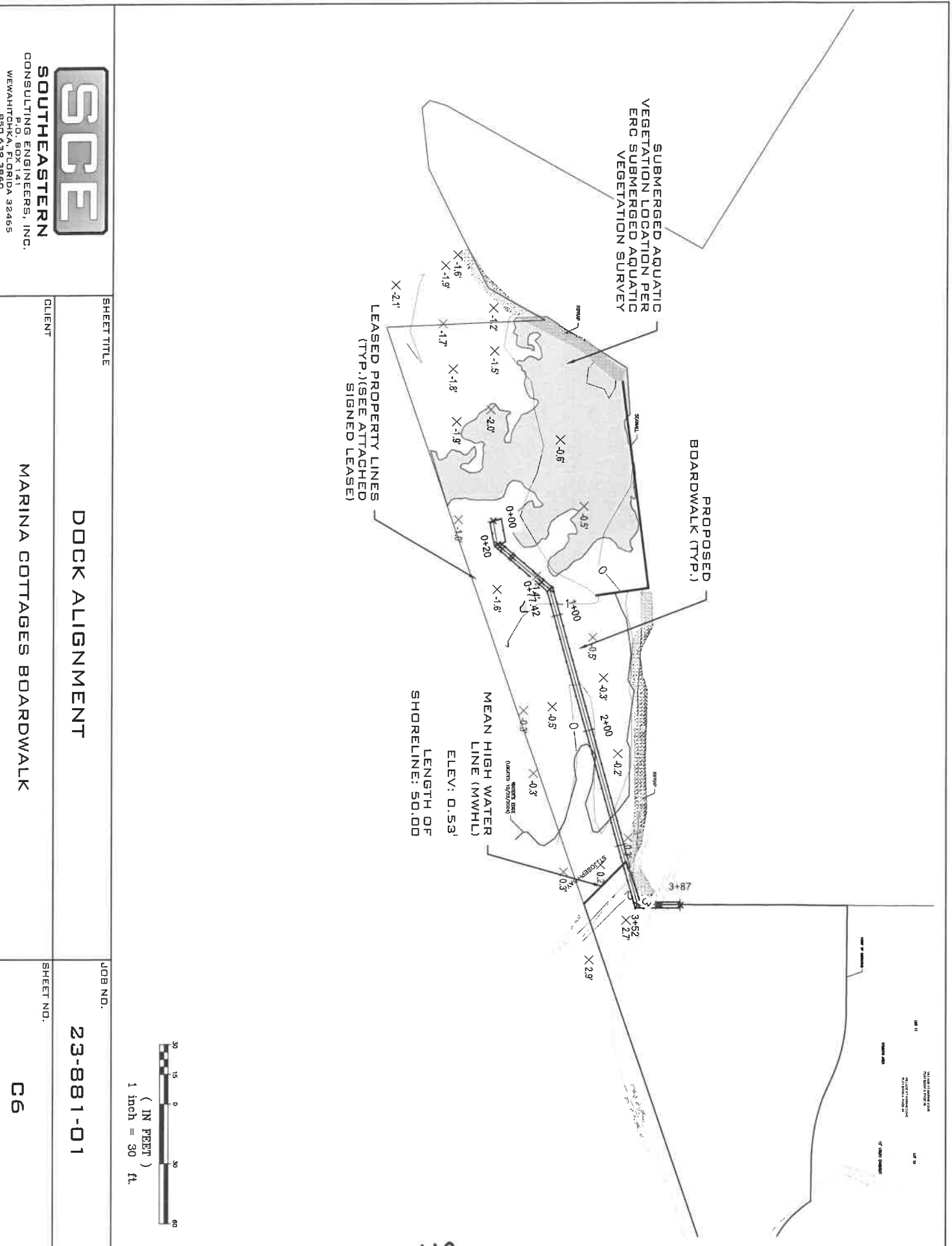
MARINA COTTAGES BOARDWALK

SHEET NO.

C5

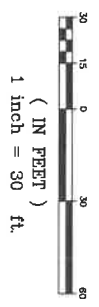


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2000 W. BOYD BLVD.
MIAMI, FLORIDA 33146
850.639.3860

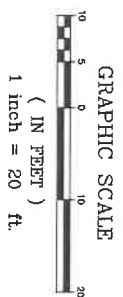
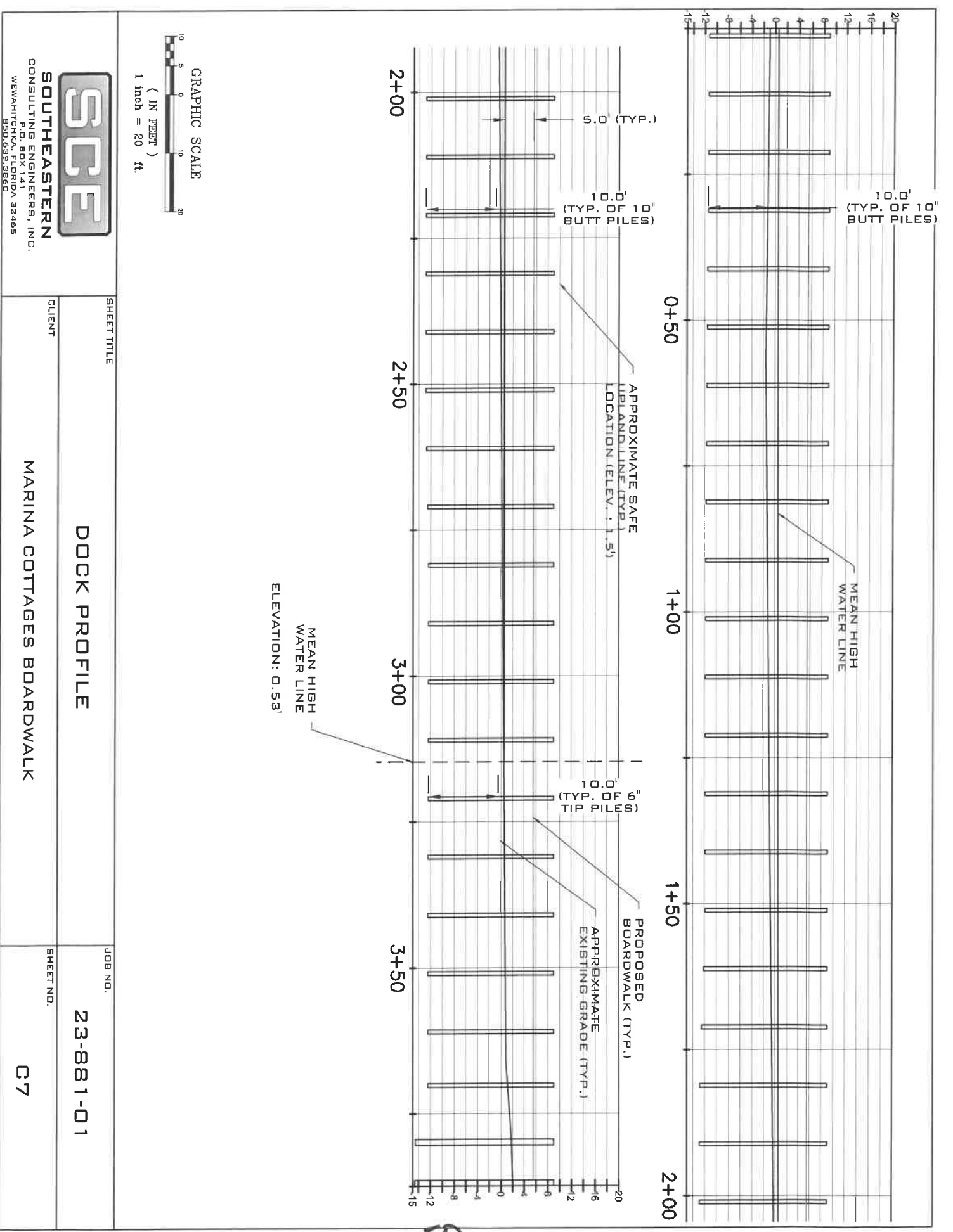


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SHEET TITLE	DOCK ALIGNMENT	JOB NO.	23-881-01
CLIENT	MARINA COTTAGES BOARDWALK	SHEET NO.	C6



49



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 CONSULTING ENGINEERS, INC.
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 WEAHITCHKA, FLORIDA 32465
 850.699.3860

SHEET TITLE	DOCK PROFILE
CLIENT	MARINA COTTAGES BOARDWALK

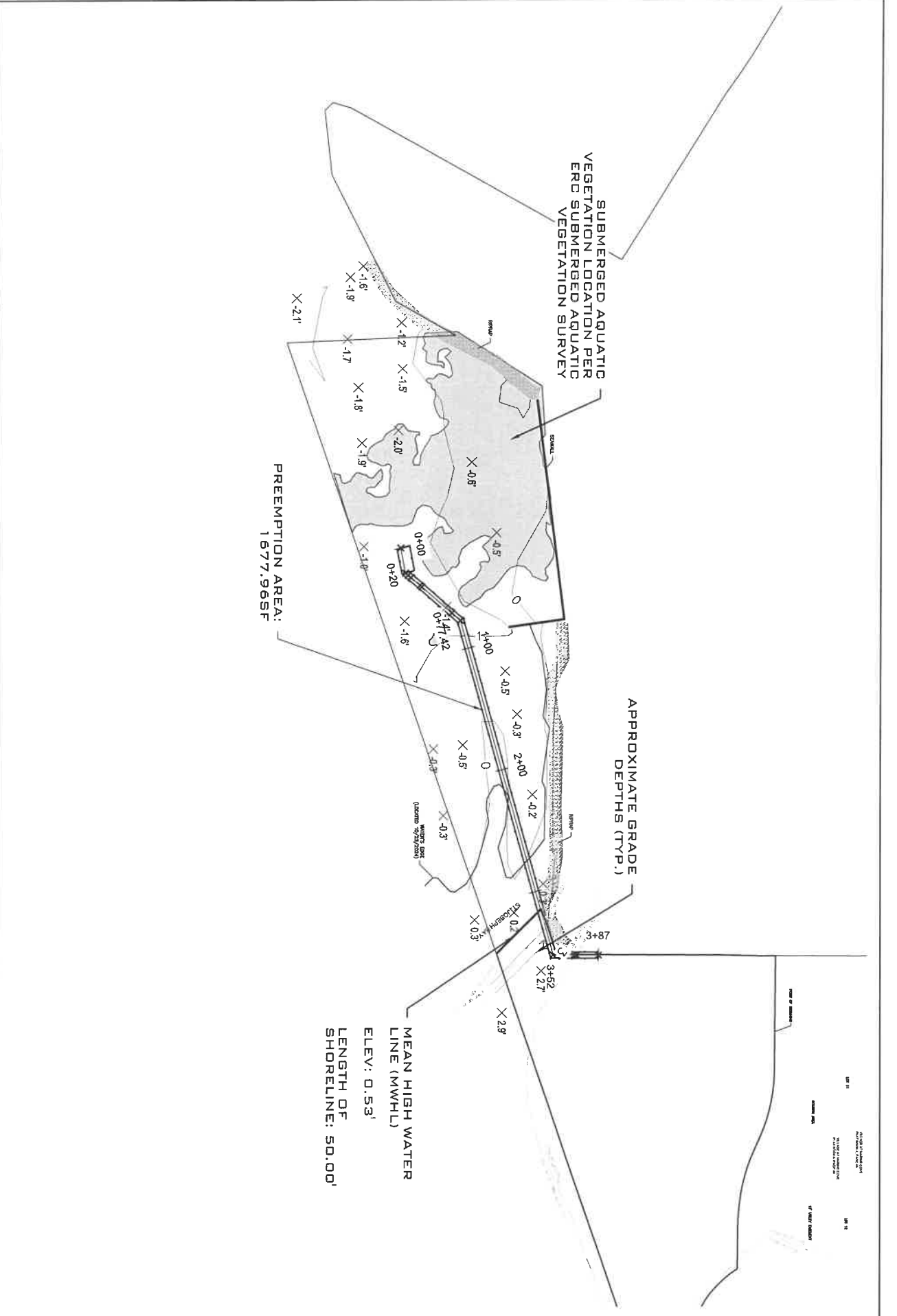
JOB NO.	23-881-01
SHEET NO.	C7

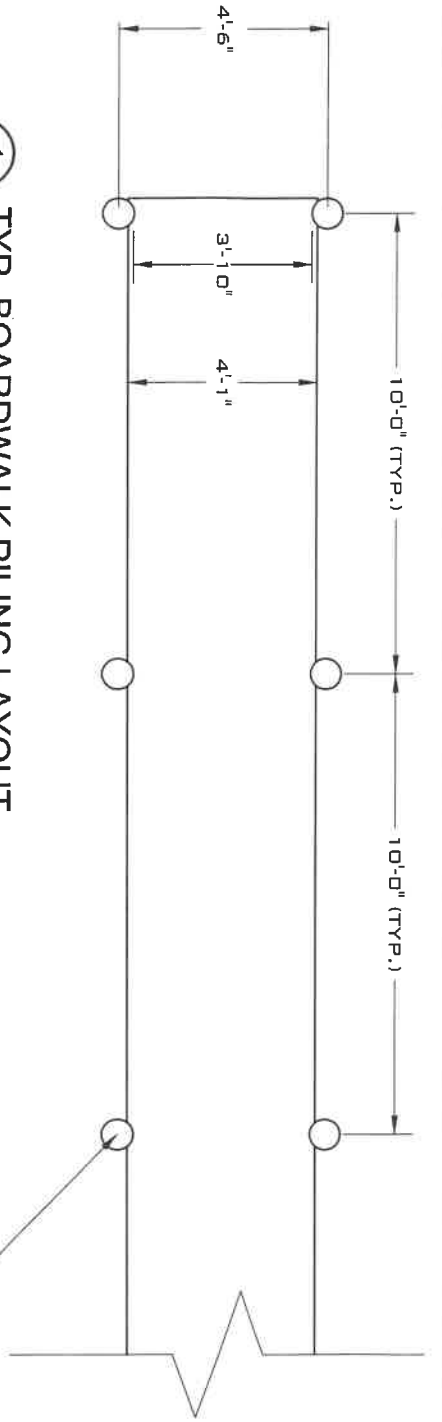
05

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 CONSULTING ENGINEERS, INC.
 P.O. BOX 141
 WEWAHITCHKA, FLORIDA 32465
 850.639.9860

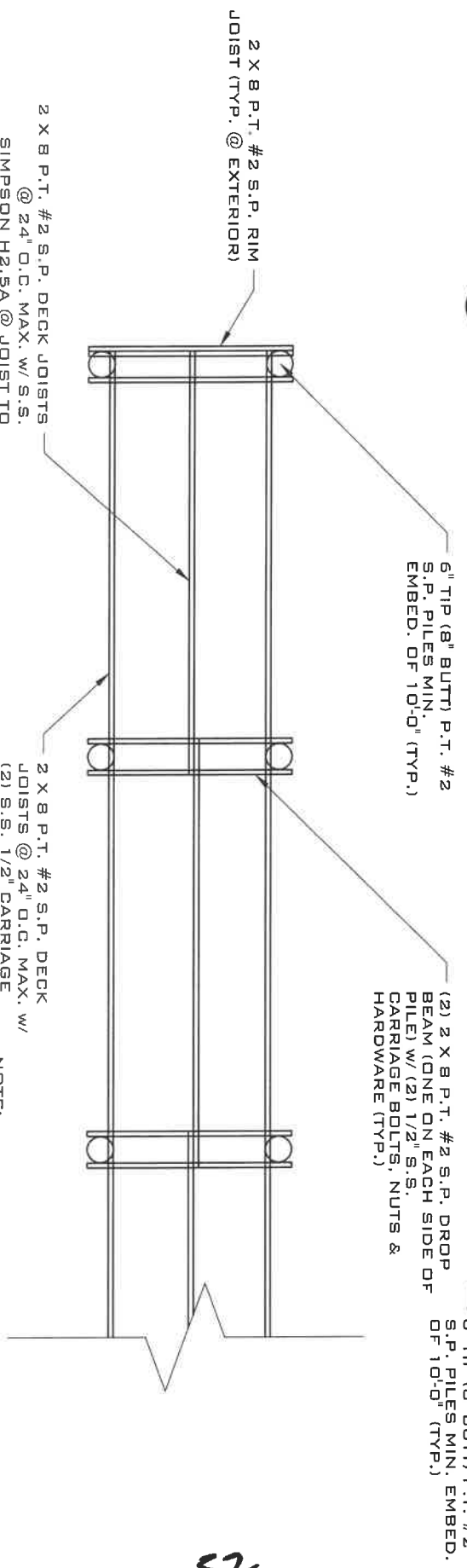
SHEET TITLE
PREEMPTION AREA
 CLIENT
MARINA COTTAGES BOARDWALK

JOB NO.
23-881-01
 SHEET NO.
C8





1 TYP. BOARDWALK PILING LAYOUT
S1 SCALE: 1/4" = 1'-0"



2 TYP. BOARDWALK FRAMING PLAN
S1 SCALE: 1/4" = 1'-0"

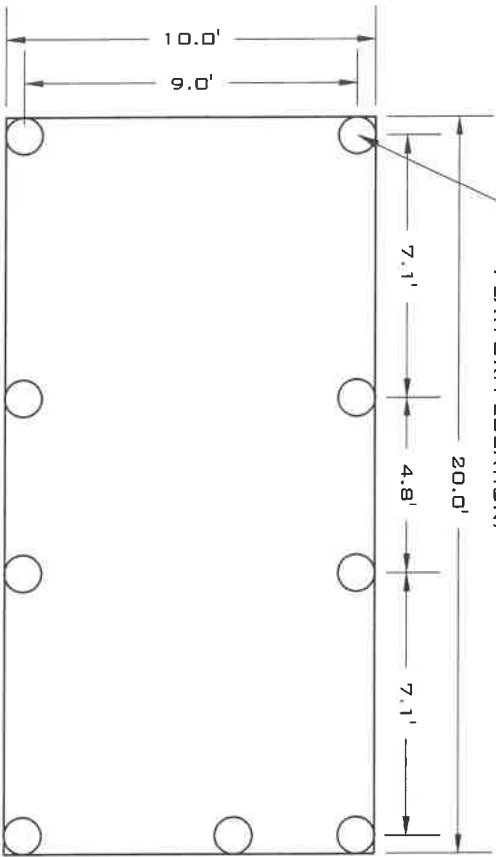
- NOTE:
1. ALL TIMBER PILES SHALL BE 2.3 CGA TREATMENT OR BETTER.
 2. ALL FRAMING MATERIALS SHALL BE CRITICAL STRUCTURE MCA TREATMENT OR BETTER.
 3. ALL DECK BOARDS SHALL BE 0.15 MCA TREATMENT OR BETTER.
 4. ALL HARDWARE SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZE. STAINLESS STEEL IS RECOMMENDED.
 5. ALL TIMBER SHALL BE #2 SOUTHERN PINE (MIN.)

 <p>SOUTHEASTERN CONSULTING ENGINEERS, INC. P.O. BOX 141 WEWAHITCHKA, FLORIDA 32465 850.639.3860</p>	SHEET TITLE	JOB NO.
	BOARDWALK FRAMING PLAN	23-881-01
CLIENT	MARINA COTTAGES BOARDWALK	SHEET NO.
		S1

10" TIP (12" BUTT) P.T. #2 S.P.
PILES MIN. EMBED OF 14'-0"
(TYP. OF 8 @ TERMINAL
PLATFORM LOCATION)

2 X 12 P.T. #2 S.P. RIM
JOISTS W/ (3) S.S. #9 DECK
SCREWS @ EACH JOIST
CONN. (TYP @ EXTERIOR)

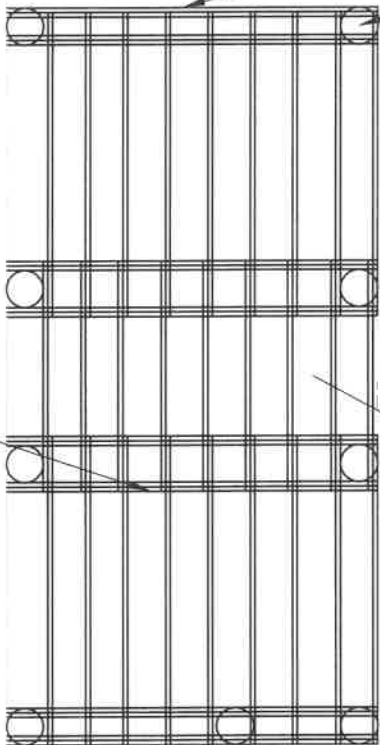
10" TIP (12" BUTT) P.T. #2 S.P.
PILES MIN. EMBED OF 14'-0"
(TYP. OF 8 @ TERMINAL
PLATFORM LOCATION)



1 PILE LAYOUT PLAN
SCALE: 1/8" = 1'-0"

2 X 12 P.T. #2 S.P. DECK
JOISTS STAGGERED @ 16"
O.C. MAX. W/ S.S. SIMPSON
H2.5A @ JOIST TO DROP
BEAM CONN. (TYP.)

(4) 2 X 12 P.T. #2 S.P. DROP
BEAM (2 ON EACH SIDE) W/
(2) 1/2" S.S. CARRIAGE
BOLTS, NUTS & HARDWARE
(TYP. @ PILE CONN.)



2 TERMINAL PLATFORM FRAMING PLAN
SCALE: N.T.S.

- NOTE:
1. ALL TIMBER PILES SHALL BE 2.3 CCA TREATMENT OR BETTER.
2. ALL FRAMING MATERIALS SHALL BE CRITICAL STRUCTURE MCA TREATMENT OR BETTER.
3. ALL DECK BOARDS SHALL BE 0.15 MCA TREATMENT OR BETTER.
4. ALL HARDWARE SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZE, STAINLESS STEEL IS RECOMMENDED.
5. ALL TIMBER SHALL BE #2 SOUTHERN PINE (MIN.)

TYPICAL BOARDWALK FRAMING PER DETAILS ON SHEETS S1 & S3

SHEET TITLE

PLATFORM PILE AND FRAMING PLAN

CLIENT

MARINA COTTAGES BOARDWALK

JOB NO.

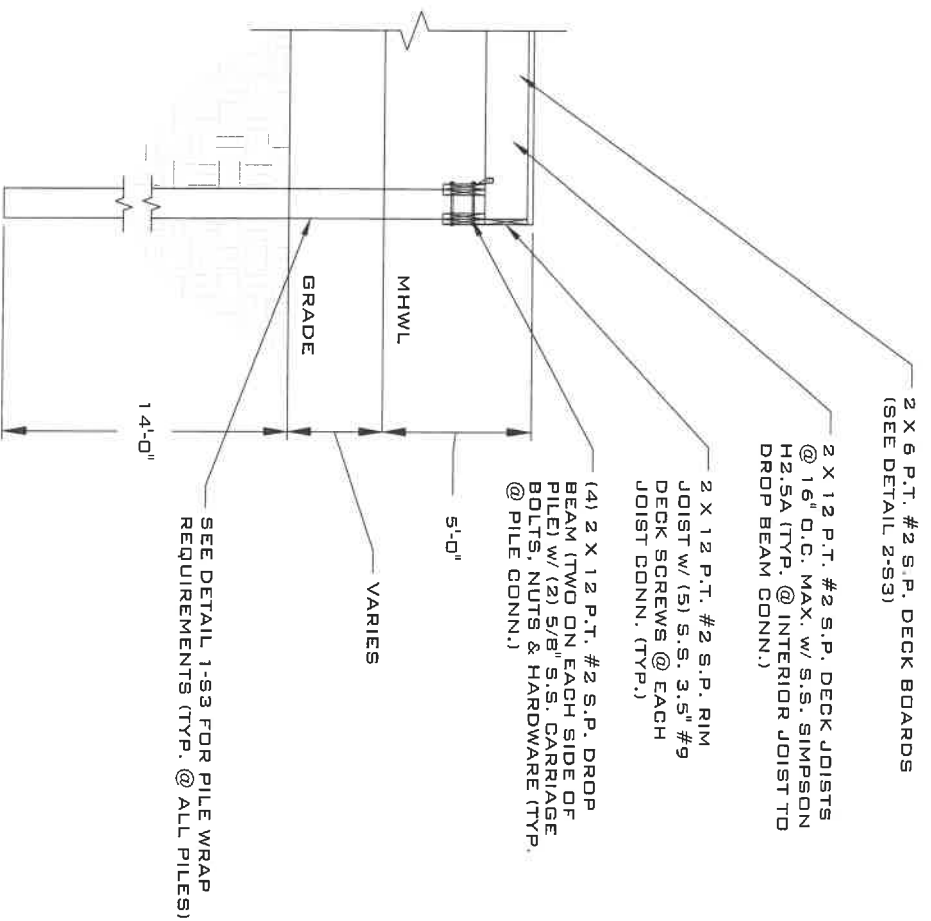
23-881-01

SHEET NO.

S2

S3

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CONSULTING ENGINEERS, INC.
P.O. BOX 141
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850.639.3860



1
S4

TYP. TERMINAL PLATFORM SECTION

SCALE: N.T.S.

- NOTE:
1. ALL TIMBER PILES SHALL BE 2.3 CCA TREATMENT OR BETTER.
 2. ALL FRAMING MATERIALS SHALL BE CRITICAL STRUCTURE MCA TREATMENT OR BETTER.
 3. ALL DECK BOARDS SHALL BE 0.15 MCA TREATMENT OR BETTER.
 4. ALL HARDWARE SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZE, STAINLESS STEEL IS RECOMMENDED.
 5. ALL TIMBER SHALL BE #2 SOUTHERN PINE (MIN.)

SS

<p>SCCE</p> <p>SOUTHEASTERN CONSULTING ENGINEERS, INC. P.O. BOX 141 WEAHLTOWKA, FLORIDA 32465 850.635.9860</p>	<p>SHEET TITLE</p> <p>TYP. TERMINAL PLATFORM SECTION</p> <p>CLIENT</p> <p>MARINA COTTAGES BOARDWALK</p>	<p>JOB NO.</p> <p>23-881-01</p> <p>SHEET NO.</p> <p>S4</p>
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